

**TOOWOOMBA
REGION**

Rich traditions. Bold ambitions.

**Toowoomba Regional Planning
Scheme
Amendment No. 16

Formal Documentation**



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Part 1 Preliminary

Clause 1 Short title

(1) This amendment may be cited as Toowoomba Regional Planning Scheme – Amendment No. 16.

Clause 2 Adoption

(1) Toowoomba Regional Council adopted this planning scheme amendment on the 19 November 2019.

Clause 3 Commencement

(1) This amendment took effect on 29 November 2019.

Part 2 Amendment of the Planning Scheme

Clause 4 Amendment of the Planning Scheme

(1) Toowoomba Regional Planning Scheme is amended in the manner set out in this part.

Clause 5 Amendment of Part 3 – Strategic Framework

(1) Part 3.3.1(4)(a)(viii),–

omit, insert –

(viii) Residential growth will be accommodated through new urban areas in Drayton, Glenvale and Darling Heights, and urban infill at increased residential densities in the form of detached dwellings on standard and small lots, dual occupancy and multiple dwellings within:

- (A) Walking catchments around centres offering a broad range of goods, facilities and services (being 800m around Major and 400m around District centres and designated Local centres within the centre hierarchy);
- (B) Land that benefits visually from high quality parkland;
- (C) Walking catchments around major non-industrial employment areas (land within 800m walk of 1000 or more non-industrial jobs);
- (D) A central transport corridor bounded by Nelson, West, Jellicoe and Hume street, and
- (E) An 800m walking catchment of the University of Southern Queensland (Toowoomba campus).

Residential development outside of these areas will consist of detached dwellings on standard lots and dual occupancy.

Future urban areas outside the existing urban footprint are not released prior to 2031 and are protected from development which would compromise long-term growth options beyond 2031.

(2) Part 3.3.1 after (4)(b)(i)(B) –

insert-

- (C) Residential growth will be accommodated through a mix of housing forms, including detached dwellings on standard and small lots, dual occupancy and multiple dwellings throughout the town.

(3) Part 3.3.1 after (4)(c)(v) –

insert-

- (vi) Residential growth will be accommodated through a mix of housing forms, including detached dwellings on standard and small lots, dual occupancy and multiple dwellings within an 800m walking area around the town centre (being land within the Major Centre Zone within Crows Nest) and detached dwellings on standard lots and dual occupancy elsewhere throughout the town.

(4) Part 3.3.1(4)(d)(vi),–

omit, insert –

- (vi) Residential growth will be accommodated through expansion of new urban areas to the northwest of the town centre and increased residential density in and within an 800m walking area around the town centre (being land within the Major Centre Zone in Highfields).

(5) Part 3.3.1(4)(e)(vii),–

omit, insert –

- (vii) Residential growth is accommodated in the form of detached dwellings on standard lots and dual occupancy within the existing town area and new urban area in the southeast of the town and through a mix of housing forms, including detached dwellings on standard and small lots, dual occupancy and multiple dwellings within an 800m walking area of the town centre (being land within the Major Centre Zone in Oakey) and within a 400m walking area of the Kerrytown Shopping Centre complex.

(6) Part 3.3.1 after (4)(f)(v) –

insert-

- (vi) Residential growth will be accommodated through a mix of housing forms, including detached dwellings on standard and small lots, dual occupancy and multiple dwellings throughout the town.

(7) Part 3.3.1(4)(g)(vi),–

omit, insert –

- (vi) New urban development occurs within the existing town and provides a variety of lifestyle choices, including detached dwellings on standard and small lot sizes, dual occupancy and multiple dwellings throughout the town and larger rural residential development in the southwest of the town.

(8) Part 3.3.1, after (5)

insert-

- (6) The greatest housing diversity occurs in infill areas within existing urban areas. Residential development in greenfield areas will initially be dominated by detached housing on lots over 500m² in area however greater diversity will develop around centres, parkland and employment areas as they establish under the guidance of local plans.

(9) Part 3.3.1, after new (6)-

renumber (7) to (11).

(10) Part 3.3.2.1(4)(a)(x)-

omit, insert-

- (x) a diversity of housing forms, sizes and densities is provided in the Highfields area in the form of detached dwellings on standard and small lots, dual occupancy and multiple dwellings in proximity to the town centre and detached dwellings on standard lots and dual occupancy elsewhere throughout the town, providing opportunities for universally accessible dwellings and affordable housing opportunities.

(11) Part 3.3.3.1(3)-

omit, insert-

- (3) A significant proportion of growth throughout the Region is achieved through infill and redevelopment of existing urban areas and rural townships on land with multiple transport options, adjoining or opposite high amenity parkland and within walking distance of:
- (a) centres offering a wide range of goods, services and facilities (including those that meet daily convenience needs);
 - (b) high concentrations of non-industrial jobs; and
 - (c) the University of Southern Queensland

(12) Part 3.3.3.2(3)-

omit, insert-

- (3) New developments shall contribute to achieving dwelling yields in the order of:
- (a) 15 dwellings per hectare net in Greenfield Development Areas;
 - (b) 30-40 dwellings per hectare net in designated infill areas; and
 - (c) 60 dwellings per hectare net in the Principal Activity Centre (Toowoomba City Centre).

(13) Part 3.3.3.2 after (3)-

insert-

- (4) Designated infill areas are included within the Low-medium Density Residential Zone.

(14) Part 3.3.3.2 after new (4)-

renumber (4) and (5).

(15) Part 3.3.4.1(1)-

omit, insert-.

- (1) Suburban neighbourhoods consist primarily of detached houses and dual occupancies.

(16) Part 3.3.4.1(2)-

omit.

(17) Part 3.3.4.1(3)

omit -.

Housing in suburban neighbourhoods is within easy walking and cycling distance to a range of local facilities, including shops, schools, parks, and public transport. However, the emphasis is on enhancing and maintaining the amenity and lifestyle of residential uses.

and renumber.

(18) Part 3.3.4.1 (4)-

renumber.

(19) Part 3.3.4.1(5) and (6)-

omit.

(20) Part 3.3.4.1(7)-

renumber.

(21) Part 3.3.4.1(7)(b)-

omit, insert-.

- (b) are included within the Low Density Residential Zone.

(22) Part 3.3.4.2(1) to (3)-

omit, insert-.

- (1) Detached dwellings and dual occupancies are the only residential development form supported within Suburban Neighbourhoods.
- (2) New residential lots have areas that reflect the predominant lots sizes in the surrounding area (within infill areas) and a minimum lot size of 500m² within greenfield areas. New lots in the form of hatchet lots are not supported.
- (3) The clustering of dual occupancy is discouraged so as to promote a mix of low density housing forms within suburban neighbourhoods.

(23) Part 3.3.5(1)-

omit, insert-.

- (1) Urban neighbourhoods promote the development of a compact urban form by facilitating medium density housing in areas with access to a mix of urban retail, commercial, service, community, entertainment

uses, employment and high quality parkland to residents within walking distance.

(24) Part 3.3.5.1(1)-

omit, insert-

- (1) Urban neighbourhoods:
 - (a) are focused around areas of mixed use, providing ready access to a range of shopping, community and other local services and employment, they are higher density and highly walkable;
 - (b) have good public transport access and have been developed or redeveloped over time at higher densities and with a mix of housing and uses;
 - (c) are often transit oriented;
 - (d) are in the urban extent shown on the Strategic Framework Map SF1 – Settlement Pattern; and
 - (e) included within the Low-medium Density Residential Zone.

(25) Part 3.3.5.1(2) and (3)-

omit.

(26) Part 3.3.5.1(4) and (5)-

renumber.

(27) Part 3.3.5.2(2)-

omit, insert-

- (2) Walk to public transport stops is 400m.

(28) Part 3.3.5.2-

insert after (3)-

- (4) A broad range of residential housing forms are supported in urban neighbourhoods including detached dwellings on standard and small lots, dual occupancy and multiple dwellings.
- (5) The clustering of medium density forms of housing (dual occupancy and multiple dwellings) is discouraged so as to promote housing choice and manage the amenity impacts of this form of development.
- (6) New residential lots have a range of areas providing opportunities for housing diversity.
- (7) Hatched lots are only developed for single dwellings.

Clause 6 Amendment of Part 5 – Tables of assessment

(1) Part 5.4 Table 5.4.1 Development under schedule 6 and 7 of the Regulation - material change of use-

omit-

Rows corresponding with the uses Dual Occupancy and Dwelling House.

(2) Part 5.5 Table 5.5:1 – Low Density Residential Zone-

omit-

Section corresponding with the use Dual Occupancy.

insert-

Dual Occupancy	Accepted development subject to requirements	
	If: (i) the site is not within a Greenfield Area or it is a designated dual occupancy lot within a Greenfield Area; (ii) the site has an area of at least 700m ² ; (iii) the site is not a hatchet lot; and (iv) the building height does not exceed 8.5m;	Medium Density Residential Code Transport, Access and Parking Code
	Code assessment	
	If: (i) the site is not a hatchet lot; and (ii) the building height does not exceed 8.5m; or (iii) meeting the description listed in the categories of development and assessment column for accepted development subject to requirements and not complying with one or more required acceptable outcomes in the assessment benchmarks identified for accepted development subject to requirements.	Low Density Residential Zone Code Medium Density Residential Code Environmental Standards Code Integrated Water Cycle Management Code Landscaping Code Transport, Access and Parking Code Works and Services Code State Planning Policy (July 2017) - Appendix 2 – Stormwater management design objectives Highfields, Meringandan and Meringandan West Local Plan Code (where in the Highfields, Meringandan and Meringandan West Local Plan area) Glensvale Local Plan Code (where in the Glensvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)

(3) Part 5.5 Table 5.5:1 – Low Density Residential Zone-
omit-

Section corresponding with the use Dwelling House.

insert-

Dwelling House	Accepted development	
	If (i) the area of the site is 450m ² or more; and (ii) the site is not a hatchet lot; and (iii) the site is not within an Approved Plans of Development listed in Schedule 7.	
	Accepted development subject to requirements	
	If not meeting the description listed in the categories of development and assessment column for accepted development.	<p>Small Lot Housing Design Code</p> <p>If:</p> <p>(a) the site is not within an Approved Plans of Development listed in Schedule 7;</p> <p>and</p> <p>(b) the site has an area less than 450m².</p> <p>Medium Density Residential Code</p> <p>If the site is a Hatchet Lot with an area greater than 450m².</p> <p>Approved Plans of Development applying to the land (where listed in Schedule 7).</p>
Code assessment		

	<p>If not complying with one or more required acceptable outcomes in the assessment benchmarks identified for accepted development subject to requirements.</p>	<p>Small Lot Housing Design Code If the site has an area less than 450m². Medium Density Residential Code If the site is a Hatched Lot with an area greater than 450m². Low Density Residential Zone Code Environmental Standards Code Integrated Water Cycle Management Code Landscaping Code Transport, Access and Parking Code Works and Services Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields, Meringandan and Meringandan West Local Plan Code (where in the Highfields, Meringandan and Meringandan West Local Plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)</p>
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(4) Part 5.5 Table 5.5:1 – Low Density Residential Zone-
omit-

Section corresponding with the use Multiple Dwelling.

(5) Part 5.5 Table 5.5:2 – Low-medium Density Residential Zone-
omit-

Section corresponding with the use Dual Occupancy.

insert-

Dual Occupancy	Accepted development subject to requirements	
	If:	
	(i) the site is not within a Greenfield Area or it is a designated dual occupancy lot within a Greenfield Area;	Medium Density Residential Code Transport, Access and Parking Code
	(ii) the site has an area of at least 500m ² ;	
(iii) the site is not a hatchet lot; and		
(iv) the building height does not exceed 8.5m.		
Code assessment		
If:		
(i) the site is not a hatchet lot and the building height does not exceed 8.5m; or	(ii) meeting the description listed in the categories of development and assessment column for accepted development subject to requirements and not complying with one or more required acceptable outcomes in the assessment benchmarks identified for accepted development subject to requirements.	Low-medium Density Residential Zone Code Medium Density Residential Code Environmental Standards Code Integrated Water Cycle Management Code Landscaping Code Transport, Access and Parking Code Works and Services Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields, Meringandan and Meringandan West Local Plan Code (where in the Highfields, Meringandan and Meringandan West Local Plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)

(6) Part 5.5 Table 5.5:2 – Low-medium Density Residential Zone-

omit-

Section corresponding with the use Dwelling House.

insert-

Dwelling House	Accepted Development	
	<p>If</p> <p>(i) the area of the site is 450m² or more; and</p> <p>(ii) the site is not a hatchet lot; and</p> <p>(iii) the site is not within a current Plan of Development listed in Schedule 7.</p>	
	Accepted development subject to requirements	
	<p>If not meeting the description listed in the categories of development and assessment column for accepted development.</p>	<p>Low-medium Density Residential Zone Code</p> <p>Small Lot Housing Design Code</p> <p>If:</p> <p>(a) the site is not within a current Plan of Development listed in Schedule 7;</p> <p>and</p> <p>(b) the site has an area less than 450m².</p> <p>Medium Density Residential Code</p> <p>If the site is a Hatchet Lot with an area greater than 450m².</p> <p>Plan of Development applying to the land (where listed in Schedule 7).</p>
Code Assessment		
<p>If meeting the description listed in the categories of development and assessment column for accepted development subject to requirements and not complying with one or more required acceptable outcomes in the assessment benchmarks identified for accepted development subject to requirements.</p>	<p>Low-medium Density Residential Zone Code</p> <p>Small Lot Housing Design Code</p> <p>If the site has an area less than 450m².</p> <p>Medium Density Residential Code</p> <p>If the site is a Hatchet Lot with an area greater than 450m².</p>	

(7) Part 5.5 Table 5.5:2 – Low-medium Density Residential Zone-
omit-

Section corresponding with the use Multiple Dwelling.

insert-

Multiple Dwelling	Code assessment	
	If: (a) the building height does not exceed 8.5m; and (b) not located on a hatchet lot.	Low-medium Density Residential Zone Code Medium Density Residential Code Environmental Standards Code Integrated Water Cycle Management Code Landscaping Code Transport, Access and Parking Code Works and Services Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields, Meringandan and Meringandan West Local Plan Code (where in the Highfields, Meringandan and Meringandan West Local Plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)

(8) Part 5.5 Table 5.5:15 – Emerging Community Zone-
insert –

Dual Occupancy	Accepted development subject to requirements	
	<p>If:</p> <ul style="list-style-type: none"> (i) the site is not within a Greenfield Area or it is a designated dual occupancy lot within a Greenfield Area; (ii) the site has an area of at least 700m²; (iii) the site is not a hatchet lot; and (iv) the building height does not exceed 8.5m. 	<p>Medium Density Residential Code Transport, Access and Parking Code</p>
	Code assessment	
	<p>If meeting the description listed in the categories of development and assessment column for accepted development subject to requirements and not complying with one or more required acceptable outcomes in the assessment benchmarks identified for accepted development subject to requirements.</p>	<p>Emerging Community Zone Code Medium Density Residential Code Environmental Standards Code Integrated Water Cycle Management Code Landscaping Code Transport, Access and Parking Code Works and Services Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields, Meringandan and Meringandan West Local Plan Code (where in the Highfields, Meringandan and Meringandan West Local Plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)</p>

(9) Part 5.5 Table 5.5:17 – Township Zone-

omit-

Section corresponding with the use Dual Occupancy.

insert-

Dual Occupancy	Accepted development subject to requirements	
	If: (i) in a seweraged area; (ii) the site is not within a Greenfield Area or it is a designated dual occupancy lot within a Greenfield Area; (iii) the site has an area of at least 500m ² ; (iv) the site is not a hatchet lot; and (v) the building height does not exceed 8.5m.	Medium Density Residential Code Transport, Access and Parking Code
	Code assessment	
	If: (i) the site is not a hatchet lot and the building height does not exceed 8.5m; or (ii) meeting the description listed in the categories of development and assessment column for accepted development subject to requirements and not complying with one or more required acceptable outcomes in the assessment benchmarks identified for accepted development subject to requirements.	Township Zone Code Medium Density Residential Code Environmental Standards Code Integrated Water Cycle Management Code Landscaping Code Transport, Access and Parking Code Works and Services Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields, Meringandan and Meringandan West Local Plan Code (where in the Highfields, Meringandan and Meringandan West Local Plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)

(10) Part 5.5 Table 5.5:17 – Township Zone-
omit-

Section corresponding with the use Multiple Dwelling.

insert-

Multiple Dwelling	Code assessment	
	If: (a) the building height does not exceed 8.5m; and (b) not located on a hatchet lot.	Township Zone Code Medium Density Residential Code Environmental Standards Code Integrated Water Cycle Management Code Landscaping Code Transport, Access and Parking Code Works and Services Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields, Meringandan and Meringandan West Local Plan Code (where in the Highfields, Meringandan and Meringandan West Local Plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)

(11) Part 5.6 Table 5.6:1 – Reconfiguring a lot-
omit, insert –

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All Zones	Accepted Development	
	If the Regulation, schedule 6, Part 4 applies.	
	Accepted development subject to requirements	
	If rearranging the boundaries of a lot by registering a plan of subdivision and: <ul style="list-style-type: none"> (i) no additional lots are created; (ii) none of the resulting lots is a hatchet lot; and (iii) the size of all proposed lots is equal to or greater than the relevant minimum lot size for the zone as identified in Table 5.6:2. 	Reconfiguring a Lot Code
	Code assessment	
Subdivision of one lot into two lots (and associated operational work) if code assessment is required under schedule 10 of the Regulation.	As per the Regulation, schedule 10. Editor's note – Assessment benchmarks for the reconfiguring a lot are set out in schedule 14 of the Regulation.	

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>If:</p> <ul style="list-style-type: none"> (i) creating a lot/s by subdividing another lot; and <ul style="list-style-type: none"> (a) the size of each lot created is equal to or greater than the minimum lot size for the zone as identified in Table 5.6:2; and (b) hatchet lots are only created in the Low-medium Density Residential Zone; and (c) the access handle of any proposed hatchet lot is at least 6 metres wide; or (ii) creating an easement giving access to a lot from a constructed road; or (iii) it is a Community Title subdivision of an existing building(s). 	<p>The applicable zone code Reconfiguring a Lot Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields District Local Plan Code (where in the Highfields District local plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)</p>
	<p>If meeting the description listed in the categories of development and assessment column for accepted development subject to requirements and not complying with one or more required acceptable outcomes in the assessment benchmarks identified for accepted development subject to requirements.</p>	<p>The applicable zone code Reconfiguring a Lot Code State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives Highfields District Local Plan Code (where in the Highfields District local plan area) Glenvale Local Plan Code (where in the Glenvale local plan area) Charlton Wellcamp Enterprise Area Local Plan Code (where in the Charlton Wellcamp Enterprise Area local plan area)</p>
	Impact assessment	
	<p>If for a volumetric subdivision.</p>	<p>The Planning Scheme</p>
	<p>Any other reconfiguring a lot not listed in this table</p>	<p>The Planning Scheme</p>

(12) Part 5.6 Table 5.6:2 – Minimum Lot Sizes-
omit-

Row corresponding with the Low-medium Density Residential Zone – all precincts.

insert-

Low-medium Density Residential Zone – all precincts	300m ²
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- (13) Part 5.10 Table 5.10:1 – Assessment benchmarks for overlays after line corresponding with Heritage Overlay -

Insert, in alphabetical order-

Heritage Overlay		
Dual Occupancy	Impact Assessable	The Planning Scheme
Multiple Dwelling	Impact Assessable	The Planning Scheme
Reconfiguring a lot: If: (i) creating a hatchet lot/s; or (ii) creating a lot with an area less than 450m ² .	Impact Assessable	The Planning Scheme

- (14) Part 5.10 Table 5.10:1 – Assessment benchmarks for overlays after line corresponding with Neighbourhood Character Overlay -

Insert, in alphabetical order-

Neighbourhood Character Overlay		
Dual Occupancy	Impact Assessable	The Planning Scheme
Multiple Dwelling	Impact Assessable	The Planning Scheme
Reconfiguring a lot: If: (i) creating a hatchet lot/s; or (ii) creating a lot with an area less than 450m ² .	Impact Assessable	The Planning Scheme

- (15) Part 5 – Tables of assessment-
omit-

All references to ‘State Planning Policy 4/10 Healthy Waters — Appendix 1 Development Assessment Code’

insert-

State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives

Clause 7 Amendment of Part 6 – Zones

(1) Part 6.2.1.2(1)-

omit,insert-

(1) The purpose of the Low Density Residential Zone code is to provide for a variety of low density dwelling types, including dwelling houses and community uses and small-scale services, facilities and infrastructure that cater for local residents.

(2) The amenity and lifestyle of residents in the Low Density Residential Zone is conserved while providing mechanisms to promote and implement a consistency of housing forms at a low density appropriate to each locality. Non-residential uses are small scale and low intensity uses that service the day to day needs of the immediate local residential community and do not undermine the viability of a nearby centre.Part 6.2.1.2(2)-

omit,insert-

(2) The overall outcomes sought for the zone code are as follows:

- (a) the provision of detached dwelling houses as the primary form of housing within the zone and dual occupancy as a secondary form of housing, on a range of lot sizes greater than 500m²;
- (b) medium density forms of residential development are supported within greenfield areas in this zone where within walking distance of a local, district or major centre providing a wide range of goods, services and facilities, including provision of goods and services to meet daily convenience needs or where adjacent or opposite a district or regional park offering a high level of residential amenity.
- (c) retirement villages are established in the Low Density Residential Zone only where they are designed to achieve a transition in scale and density from one that is consistent with the surrounding area to a more dense form consistent with a typical retirement village;
- (d) dual occupancy development is dispersed throughout residential neighbourhoods and does not become the dominant housing form in the street;
- (e) lot reconfiguration within greenfield areas in the zone achieves a minimum dwelling yield of 15 dwellings per hectare;
- (f) new hatchet lots are not created within this zone and existing hatchet lots are occupied by a single dwelling house only;
- (g) development provides for an efficient land-use pattern and is well connected to other parts of the local government area;
- (h) development is designed to provide safe and walkable neighbourhoods that connect residents to desirable destinations including schools, parks, shops and community facilities;
- (i) small scale short-term accommodation occurs only on land with direct access to a road at the distributor, sub-arterial and

regional arterial level in the road hierarchy and in proximity to existing development of a similar nature, in buildings of a scale that is consistent with the surrounding residential area, all car parking needs can be met on site, and the use does not detract from the residential amenity of the area.

- (j) development maintains a high level of residential amenity avoiding uses that introduce adverse impacts such as excessive traffic, noise, dust, odour, lighting and other locally specific impacts;
- (k) development reflects and enhances the existing low density scale and character of the area, and is no more than 2 storeys above ground level;
- (l) development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and encourage sustainable transport use such as walking, cycling and public transport use;
- (m) development is supported by necessary community facilities, open space and recreational areas and appropriate infrastructure including utility installations to support the needs of the local community;
- (n) non-residential uses occur only where such uses:
 - (i) primarily function to directly support the day to day convenience needs of the immediate local residential community;
 - (ii) provide a local community or limited business function, and include:
 - a) Child care centre.
 - b) Club.
 - c) Community care centre.
 - d) Community use.
 - e) Educational establishment.
 - f) Emergency services
 - g) The following uses only where reuse of an existing building used for an existing business activity:
 - i. Food and drink outlet
 - ii. Shop (only convenience).
 - iii. Health care services.
 - iv. Place of worship.
 - v. Sales office.
 - vi. Veterinary services.
- (o) non-residential uses only occur within the zone where they:
 - (i) are accessible to the immediate local residential community they serve;
 - (ii) are located on land with direct access to a road at the distributor, sub-arterial and regional arterial level in the road hierarchy and minimises intrusion of through traffic into local residential streets;

- (iii) have a built form that is compatible with surrounding residential character and amenity, including:
 - a) reuse of existing non-residential premises or
 - b) extensions and/or new buildings have height, bulk and scale consistent with intended low density residential built form intent of the zone and compatible with existing streetscape character;
- (iv) do not have a significant detrimental impact on the neighbourhood amenity expected within a predominantly low density residential environment having regard to sunlight and solar access, privacy, hours of operation, generation of odours, noise, waste products, dust, traffic, electrical interference, lighting and visual impacts;
- (v) ensure all car parking needs can be met on site, and off-street car parking areas do not dominate the appearance in the streetscape and are landscaped to provide an attractive frontage that maximise pedestrian activity and safety.
- (p) development responds to the natural topography and environmental constraints of the land and avoids or where this is not possible, mitigates any adverse impacts on areas of ecological significance, including creeks, gullies, steep land, waterways, wetlands, habitats and vegetation and bushland through location, design, operation and management.
- (q) development for a sensitive use on land within 250m of land within the Medium Impact Industry Zone is designed to mitigate industrial air, noise and odour emissions with potential to adversely impact on human health, amenity and wellbeing.

(3) Part 6.2.1.2(4)(a)-

omit, insert-

- (a) land in this precinct accommodates dwelling houses in a very low density setting, with lots greater than 2,250m²;

(4) Part 6.2.1.3 Table 6.2.1:3, Low Density Residential Zone Code – Assessment Benchmarks for assessable development-

omit, insert-

Performance outcomes		Acceptable outcomes
Uses		
PO ₁	The zone accommodates predominantly dwelling houses and other housing forms at a low density scale and intensity.	AO _{1.1} Uses which are consistent with the intent of the zone include: <ul style="list-style-type: none"> (b) dwelling house; and (c) dual occupancy, except where located in the Clifford Park Stables and Park Residential Precincts;
PO ₂	The density of accommodation activities in the Clifford Park Stables Precinct is not increased, other than where directly associated with the management of stables on the same site.	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>PO₃ Short-term accommodation occurs where:</p> <ul style="list-style-type: none"> (a) it is of a small scale that is consistent with the intensity of development in the surrounding residential area; (b) adjoining or located on the opposite side of a road to existing Short-term accommodation or other Accommodation activities or a similar scale and density; (c) all car parking needs can be met on site; (d) have direct vehicle access to a distributor, sub-arterial and regional arterial level road that is not a State-controlled road; and (e) do not unduly detract from the amenity of nearby residences. 	<p>No acceptable outcome is nominated.</p>
<p>PO₄ Higher density forms of Accommodation activities (i.e. other than caretaker's accommodation, community residence and dwelling house and dual occupancy), are designed to reflect the residential scale and density of the surrounding area.</p>	<p>AO_{4.1} The number of dwellings on the site does not exceed one per 500m².</p> <p>AO_{4.2} The site has a minimum frontage of 12m.</p>
Non-Residential Development	
<p>PO₅ Non-residential uses establish only where they:</p> <ul style="list-style-type: none"> (a) except for child care centres, provide for the day to day convenience needs or local service of the immediate local residential community; (b) do not undermine the viability of a nearby centre and are not of a scale that impacts on the role or function centres network; (c) do not contribute to strip development or expansion of an existing centre; (d) are a of a small scale, and have low intensity operation and employment; (d) are highly accessible to the immediate local community it serves and have direct vehicle access to a distributor, sub-arterial and regional arterial; (c) do no introduce non-local traffic into a local street; (e) are in buildings, including extensions and alterations to an existing building, that have a low rise bulk and scale compatible with a dwelling house and consistent with the character of adjoining residential buildings and the surrounding streetscape; (f) do not adversely impact the amenity, safety or privacy of nearby residences. 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
Built Form	
<p>PO₆ Buildings are of a height which is consistent with the intended character of the zone and overlay, and which do not unduly reduce privacy or access to sunlight to habitable rooms, private open space and solar panels on adjoining land.</p>	<p>AO_{6.1} Buildings have a maximum height of two (2) storeys or 8.5m above ground level.</p>
<p>PO₇ Except for Dwelling Houses and Dual Occupancies site coverage:</p> <ul style="list-style-type: none"> (a) maximizes setbacks; (b) maximizes landscaping; (c) ensures adequate useable outdoor areas; (d) ensures adequate space for vehicle movement and parking areas; (e) maximizes solar access for internal and external living spaces; (f) does not compromise solar access for adjoining premises; and (g) does not result in overshadowing of adjoining properties. 	<p>AO_{7.1} For development up to two (2) storeys site cover does not exceed 50% of the site area.</p> <p>For development over two (2) storeys no acceptable outcome is nominated.</p>
<p>PO₈ Impervious site coverage:</p> <ul style="list-style-type: none"> (a) ensures development maximizes on-site infiltration and minimizes the additional burden on drainage infrastructure; (b) reduces the visual impact of additional hardstand; (c) respects the existing or preferred neighbourhood character and responds to the features of the site; and (d) allows for the provision of an appropriate supply of landscaping and open space. 	<p>AO_{8.1} Impervious areas of the site do not exceed 60% of the site area.</p>

Performance outcomes	Acceptable outcomes
<p>PO₉ The front building setback is consistent with the prevailing front setbacks in the street.</p>	<p>AO_{9.1} Where the site has frontage to a collector or local road, buildings are set back from that frontage:</p> <ul style="list-style-type: none"> (a) within 20% of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings, 4m. <p>AO_{9.2} Where the site has frontage to a road other than a collector or local road:</p> <ul style="list-style-type: none"> (a) residential buildings are set back from that frontage in accordance with the requirements of the Queensland Development Code. (b) non-residential buildings are set back from that frontage 6m. <p>AO_{9.3} Where involving non-residential use, buildings are set back a minimum 6m from the road frontage.</p>

Performance outcomes	Acceptable outcomes
<p>PO₁₀ Side and rear building setbacks:</p> <ul style="list-style-type: none"> (a) enhance the appearance and character of streets and buildings; (b) are appropriate to the scale of the development and the intended low density character of the zone or precinct in which the site is located; (c) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site; (d) are sufficient to minimise overshadowing and overlooking of adjoining premises; (e) provide adequate separation and buffering between residential and non-residential premises; and (f) maximise opportunities for landscaping. 	<p>AO_{10.1} Buildings are set back from a side boundary:</p> <ul style="list-style-type: none"> (a) Ground Floor (up to 3.5m high) – 1.5m; and (b) First floor (up to 7.5m high) – 2m; (c) Above 7.5m – 3m; or (d) the distance of the height of the retaining wall on the side boundary or combination of the height of the retaining wall and a fence, whichever is greater (Figure 1). Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall. <p>AO_{10.2} Buildings are set back:</p> <ul style="list-style-type: none"> (a) a minimum of 3m from a rear boundary; or (b) the distance equivalent to of the cumulative height of the retaining wall and fence on the rear boundary (Figure 1). Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall. <div data-bbox="873 953 1338 1419" data-label="Figure"> </div> <p>Figure 1</p> <p><i>For non-residential development:</i></p> <p>AO_{10.3} Buildings are set back a minimum of 2.5m from a side boundary.</p> <p>AO_{10.4} Buildings are set back from a rear boundary whichever is the greater -</p> <ul style="list-style-type: none"> (a) a minimum of 3m; or. (b) The distance equivalent to the cumulative height of the retaining wall and fence on the rear boundary. Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall.

Performance outcomes	Acceptable outcomes
<p>PO₁₁ The development is designed to a high aesthetic standard and to integrate with and enhance the locality, having regard to the following:</p> <ul style="list-style-type: none"> (a) built form; (b) open space; (c) landscaping; (d) the public realm; (e) parking and access; (f) solar access; (g) views and outlook; (h) setbacks; (i) height; (j) scale and bulk; and (k) provision of services.. 	<p>In partial compliance with the performance outcome:</p> <p>AO_{11.1} A minimum 1m wide landscaping strip is provided for the full length of the driveway and parking areas where parallel to a boundary common with a residential premises.</p> <p><i>Note: Such landscaping areas must not be compromised by the maneuvering areas required for the vehicle.</i></p>
<p>PO₁₂ Non-residential use buildings, including extensions or additions, exhibit design elements that are characteristic of and compatible with surrounding houses in the streetscape including:-</p> <ul style="list-style-type: none"> (a) buildings orient to and addresses the street frontage; (b) the main building entry faces the street at ground level; (c) building mass is broken up by articulation, fenestration, recesses and landscape elements to avoid large expanses of blank surfaces ; (d) differentiate between private houses and the non-residential use through variation in materials, patterns, textures and/or colours <p>Editor's note – examples of façade treatment to avoid expanses of blank surface may include (but is not limited to):</p> <ul style="list-style-type: none"> • windows are provided in any building façade facing the street or other public and communal space; • awnings, verandahs, pitched roofs and rectangular building plan forms are used in the building design. 	<p>No acceptable outcome is nominated</p>
<p>PO₁₃ Where appropriate, development facilitates active transport and open space connections through the neighbourhood.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>PO₁₄ The site layout responds sensitively to adjoining land uses as well as on-site and surrounding topography, drainage patterns, utility services, access, built forms and vegetation such that:</p> <ul style="list-style-type: none"> (a) any hazards or nuisance to people or property on the site or offsite are avoided; (b) any earthworks are minimised and design alternatives are prioritised over earthworks; (c) natural drainage lines are retained; (d) existing vegetation is retained or replaced; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering, screening and separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>
Amenity and Safety	
<p>PO₁₅ Development maintains a high level of residential amenity within the site and for surrounding areas, having regard to noise, odour, lighting, access to sunlight, privacy and outlook.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO₁₆ Site layout, building design and landscaping facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) opportunities for casual surveillance of and sightlines to publicly accessible areas such as car parks, pathways, public toilets and communal areas; (b) exterior building designs and orientation which promote safety; (c) adequate definition of uses and public and private ownership; (d) adequate lighting; (e) appropriate way-finding mechanisms (e.g. signage); (f) minimisation of entrapment locations; and (g) building entrances, loading and storage areas being well lit and lockable after hours. 	<p>AO_{16.1} Setbacks are provided from all boundaries in accordance with acceptable outcome AO10.2;</p> <p>AO_{16.2} The development does not introduce lighting which is inconsistent with a residential area;</p> <p>AO_{16.3} Sunlight access for the private open space or habitable rooms on adjoining properties or private open spaces on the subject site is not reduced to less than 3 hours between 9am and 3pm on June 21, or</p> <p>AO_{16.4} Where existing overshadowing by building and fences is greater than this, sunlight is not further reduced by 20%.</p>
<p>PO₁₇ Development is designed to incorporate graffiti-prevention measures.</p>	<p>AO_{17.1} Building design and layout incorporates the following features where practical:</p> <ul style="list-style-type: none"> (a) designs with an absence of 'natural ladders'; (b) minimal unbroken vertical surface areas; and (c) graffiti-deterrent surface treatments.

Performance outcomes	Acceptable outcomes
<p>PO₁₈ Development for non-residential uses provides landscaping that:</p> <ul style="list-style-type: none"> (a) is consistent with the dominant landscape character appearance of the streetscape in an established area and intended in the zone and character overlay in which the site is located; (b) provides an attractive interface between the use, the streetscape and adjoining residential uses (c) provides and maintains: <ul style="list-style-type: none"> (i) the privacy and amenity for adjoining residential uses (ii) sight lines and overlooking to public spaces and the street to enable casual surveillance (iii) a clearly defined pedestrian entry point for visitors and customers that is separated from the driveway; (iv) established trees (including street trees) and other significant existing vegetation. 	<p>AO_{18.1} Where not involving reuse of a premises development provides a minimum 3m wide landscaped garden strip along the frontage of the site.</p>
<p>PO₁₉ Development for non-residential uses provide car parking and loading and servicing areas that:</p> <ul style="list-style-type: none"> (a) are located to minimise impact on any adjoining residential premises (b) are located behind the building, and hardstand areas do not dominate the streetscape; (c) prioritise the movement and safety of pedestrians along the frontage of the site, and between the street frontage and the entrance to the building; (d) are integrated into the building design and include screening and buffering to reduce negative impact on adjoining residential uses 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>PO₂₀ Development for a sensitive use on land within 250m of land within the Medium Impact Industry Zone must not result in that use being exposed to industrial air, noise or odour emissions that impact on human health, amenity and wellbeing.</p>	<p>AO_{20.1} The use is designed to ensure that:</p> <ul style="list-style-type: none"> (a) the indoor noise objectives set out in the <i>Environmental Projection (Noise) Policy 2008</i> are met; and (b) the air quality objectives in the <i>Environmental Protection (Air) Policy 2008</i>, are met. <p><i>Note: Design measure that may assist in achieving the acceptable outcome may include::</i></p> <ul style="list-style-type: none"> (a) landscaping; (b) setbacks; (c) the orientation of buildings away from the industrial area; and (d) barriers, mounds and fencing; and/or screening.
<p>PO₂₁ Where located on land that is affected by environmental emissions generated by an operational rail corridor, sensitive development mitigates noise generated by the railway to the extent that it adversely impacts on the development.</p>	<p>No acceptable outcome is nominated.</p>
Development involving Animal Keeping (where for Stables) in the Clifford Park Stables Precinct	
<p>PO₂₂ The minimum site area for Animal Keeping (where for stables) is sufficient to:</p> <ul style="list-style-type: none"> (a) meet the needs of the use; (b) accommodate a dwelling house on the same premises; and (c) maintain an overall scale and intensity of development consistent with the character of the local area. 	<p>AO_{22.1} The site area for a Animal Keeping (where for stables) is a minimum of 1,200m².</p>

Performance outcomes	Acceptable outcomes
<p>PO₂₃ Animal Keeping (where for stables) does not adversely affect the health and safety of residents of the site or adjoining premises and do not unduly impact on the amenity of the local area.</p>	<p>AO_{23.1} No horse is stabled closer than 15m to a residential building on an adjoining lot.</p> <p>AO_{23.2} Stable buildings are constructed with impervious reinforced concrete floors, gravity drained to the effluent collection/treatment point.</p> <p>AO_{23.3} Exterior walls of buildings are constructed of sound absorbent material being brick, concrete, masonry or other similar material.</p> <p>AO_{23.4} A person who is responsible for the supervision of the stables is accommodated on the premises at all times.</p> <p>AO_{23.5} A minimum 1.8m high solid screen fence is provided on the site along all common boundaries.</p> <p>AO_{23.6} Wastes are collected and disposed of daily.</p> <p>AO_{23.7} All food/waste holding areas and receptacles are contained and covered.</p> <p>AO_{23.8} A health management plan approved by Council identifies potential health and amenity hazards associated with the stables such as vermin and other pests, animal waste, other odour sources and the methods by which these hazards are to be addressed and managed.</p>
<p>PO₂₄ Residential development maintains an overall low density, domestic scale and intensity to:</p> <p>(a) maintain suitable development sites for Animal Keeping (where for stables) to co-locate with residential uses; and</p> <p>(b) limit conflicts between Animal Keeping (where for stables) and neighbouring residential uses.</p>	<p>AO_{24.1} Accommodation activities are limited to Dwelling Houses and Community Residences.</p>
Development in the Park Residential Precinct	
<p>PO₂₅ Development does not create lots smaller than 2,250m² within the Park Residential Precinct.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO₂₆ Effluent generated by a development is capable of being treated and disposed of on site.</p>	<p>No acceptable outcome is nominated.</p>

(5) Part 6.2.1.3 - Requirements for accepted development and assessment benchmarks for assessable development,

omit-

Table 6.2.1:4 – Side Boundary Setbacks

(6) Part 6.2.2.2(1)-

omit, insert-

- (1) The purpose of the Low-medium Density Residential Zone Code is to provide for a range and mix of dwelling types including dwelling houses and multiple dwellings and community uses and small-scale services, facilities and infrastructure that cater for local residents.

The code will ensure that the amenity and lifestyle of residents in the Low-medium Density Residential Zone is conserved while providing mechanisms to promote and implement a mix of housing forms at a density appropriate to each locality and precinct located within the zone. A limited mix of small scale and low intensity non-residential uses that service the day to day needs of the immediate local residential community and do not undermine the viability of a nearby centre occurs within the zone.

(7) Part 6.2.2.2(2)-

omit, insert-

- (2) The overall outcomes sought for the zone code are as follows:
 - (a) Development provides a range and mix of residential dwelling choices including dwelling houses on standard size and smaller lots, dual occupancies, multiple dwellings, residential care facilities, retirement facilities and short-term accommodation that are compatible with the intended scale of the Low-medium Density Residential Zone;
 - (b) most new development within existing urban areas will be in the form of multiple dwellings and dual occupancies that will contribute to raising the residential densities of those areas by maximising yields while also achieving a high level of residential amenity avoiding uses that introduce impacts such as traffic noise, dust, odour, lighting and other locally specific impacts;
 - (c) development contributes to increasing the number of people living within proximity to the principal, major, district and those local centres that provide goods and services of daily convenience plus a mix of additional goods and services, major non-industrial employment nodes, the University of Southern Queensland and high amenity parks by maximising the number of dwellings provided on the site while maintaining a high level of residential amenity;
 - (d) new residential development in the form of dual occupancy and multiple dwellings, achieve dwelling yields in the order of 30-40 dwellings per hectare;
 - (e) dual occupancy development is dispersed throughout residential neighbourhoods and does not become the dominant housing form in the street;
 - (f) where the scale of the density of development intended for the particular zone precinct is greater than existing development within the immediate area, development is designed in a

- manner that enables the higher scale of density to be sensitively integrated into the existing urban landscape and streetscapes;
- (g) Hatchet lots are occupied by a single dwelling house only;
 - (h) a high quality streetscape and public open space network is provided that comprises connected public spaces and parks, and links to key community activities;
 - (i) the existing open space network is preserved and enhanced and new open space connections are established;
 - (j) short-term accommodation occurs only where in proximity to existing development of a similar nature and on a road at the distributor, sub-arterial and regional arterial level in the road hierarchy, where all car parking needs can be met on site, and it does not detract from the residential amenity of the area;
 - (k) development provides a high level of residential amenity and development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and encourage sustainable transport use such as walking, cycling and public transport use;
 - (l) the scale and density of development facilitates an efficient land use pattern that supports compact and walkable neighbourhoods that are well connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities;
 - (m) development responds to land constraints, including but not limited to topography, bushfire and flooding constraints;
 - (n) development mitigates any adverse impacts on areas of ecological significance, including creeks, gullies, steep land, waterways, wetlands, habitats and vegetation and bushland through location, design, operation and management; and
 - (o) development is supported by necessary infrastructure including utility installations to support the needs of the local community.
 - (p) non-residential uses occur only where such uses:
 - (i) primarily function to directly support the day to day convenience needs of the immediate local residential community;.
 - (ii) provide a local community or limited business function and include:
 - Child care centre.
 - Club.
 - Community care centre.
 - Community use.
 - Educational establishment.
 - Emergency services.
 - Food and drink outlet, only where located in the Urban Consolidation Precinct or Hospital Support Precinct
 - Health care services only where located in the Hospital Support Precinct.
 - Office, only where located in the Office Residential Precinct

- Place of worship.
 - Shop, only where located on the Hospital Support Precinct or Urban Consolidation Precinct;
 - Veterinary services only where reuse of existing building used for a business activity.
- (q) Non-residential uses only occur within the zone where development:
- (i) is highly accessible to the immediate local residential community it serves;
 - (ii) is located on land with direct access to a road at the distributor, sub-arterial and regional arterial level in the road hierarchy and that minimises intrusion of through traffic into local residential streets;
 - (iii) has a built form that is compatible with surrounding residential character and amenity, including:
 - reuse of existing non-residential premises;
 - or extensions and/or new buildings have a height, bulk and scale that is consistent with the intended residential built form of the precinct in which it is located, and with the existing streetscape character;
 - (iv) does not have a significant detrimental impact on the neighbourhood amenity expected within a predominately residential environment having regard to privacy, hours of operation, generation of odours, noise, waste products, dust, traffic, electrical interference, lighting and visual impacts;
 - (v) ensures that all car parking needs can be met on site, and that off-street car parking areas do not dominate the appearance in the streetscape, and are landscaped to provide an attractive frontage that maximise pedestrian activity and safety.

(8) Part 6.2.2.2(3)(a)-

omit, insert-

- (a) development is predominantly residential one (1) and two (2) storeys above ground level, maintains privacy for residents within and adjacent to the site, does not result in a loss of sunlight for adjoining residential properties and makes a positive contribution to the urban landscape and streetscape;

(9) Part 6.2.2.2(4)(a)-

omit, insert-

- (a) development is predominantly residential one (1), two (2) and three (3) storeys above ground level, maintains amenity and privacy for residents within and adjacent to the site, does not result in a loss of sunlight of adjoining residential properties and makes a positive contribution to the urban landscape and streetscape;

(10) Part 6.2.2.2(6)(b)-

omit, insert-

- (b) while the predominant uses in the Precinct will be increasingly non-residential, development is of a character and scale that is compatible with the residential development surrounding the Precinct;

(11) Part 6.2.2.2(7)(a)-

omit, insert-

- (a) development maintains amenity and privacy for residents within and adjacent to the site, does not result in a loss of sunlight of adjoining residential properties and makes a positive contribution to the urban landscape and streetscape;

(12) Part 6.2.2.3 Table 6.2.2:3, Low-medium Density Residential Zone Code – Assessment Benchmarks for assessable development-
omit,insert-

Performance outcomes		Acceptable outcomes
Uses		
PO ₁	The zone accommodates: (a) a mix of housing forms at a low-medium scale and intensity; and (b) other limited small-scale and low intensity community and non-residential uses In the Urban Consolidation, Hospital Support or Office Residential Precincts.	AO _{1.1} Uses which are consistent with the intent of the zone include (a)dwelling house; and (b) dual occupancy, except where located in the Clifford Park Stables and Park Residential Precincts.
PO ₂	Short-term accommodation occurs where: (a) adjoining or located on the opposite side of a road to existing development of a similar nature; (b) in a building of a scale that is consistent with the surrounding residential area; (c) all car parking needs can be met on site; (d) have direct access to a distributor, sub-arterial and regional arterial level road; (e) do not unduly detract from the amenity of nearby residences.	No acceptable outcome is nominated.
Residential Density		
PO ₃	.Development contributes to increasing the number of people living within proximity to major and district centres, major non-industrial employment nodes, the University of Southern Queensland and high amenity parks by maximising the number of dwellings provided on the site.	AO _{3.1} Development (other than caretaker's accommodation or dwelling house) has a minimum on-site net density of not less than 40 dwellings per hectare.

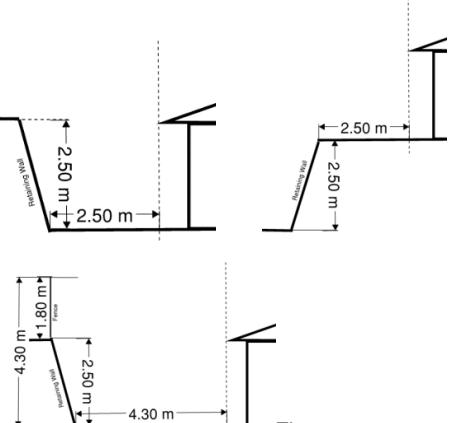
Performance outcomes	Acceptable outcomes
Non-residential uses – Scale & Function (except where in the Hospital Support Precinct or Office Residential Precinct)	
<p>PO₄ Non-residential uses establish only where they:</p> <ul style="list-style-type: none"> (a) except for child care centres, provide for the day to day convenience needs or local service of the immediate local residential community; (b) do not undermine the viability of a nearby centre and are not of a scale that impacts on the role or function of the centres network; (c) do not contribute to strip development or expansion of an existing centre; (d) are a of a small scale and have low intensity operation and employment; (e) are highly accessible to the immediate local community it serves (f) have direct vehicle access to a distributor, sub-arterial and regional arterial and does not introduce non-local traffic into a local street; (g) are in buildings, including extensions and alterations to an existing building, that have a bulk and scale compatible with the intended built form of the precinct in which it is located, existing streetscape character and residential appearance of the locality; (h) do not unduly detract from or/or adversely impact the amenity, safety or privacy of nearby residences. 	<p>No acceptable outcome is nominated.</p>
Non-residential uses – Scale and Function where in the Urban Consolidation Precinct	
<p>PO₅ Non-residential uses are located:</p> <ul style="list-style-type: none"> (a) within a mixed use development on the site that is predominately residential; (b) on the ground floor, addressing and overlooking the street to create an active frontage. 	<p>No acceptable outcome is nominated.</p>
Non residential uses – Scale and Function where in the Hospital Support Precinct	
<p>PO₆ Non-residential uses establish in the Hospital Support Precinct only where:</p> <ul style="list-style-type: none"> (a) it is a health care service; (b) it is a community or recreation use allied and related to the existing hospital; (c) provide a local convenience service and/or accommodation for workers and visitors to the precinct. 	<p>No acceptable outcome is nominated,</p>

Performance outcomes		Acceptable outcomes
Non-residential uses – Scale and Function where in the Office Residential Precinct		
PO ₇	<p>Non-residential uses establish in the Office Precinct only where they:</p> <ul style="list-style-type: none"> (a) do not undermine the viability of a nearby centre and are not of a scale that impacts on the role or function of the centres network; (b) are a of a small scale and have low intensity operation and employment; (c) have a low rise bulk and scale building form compatible with a dwelling house and is accommodated by: <ul style="list-style-type: none"> (i) the conversion of the existing residential dwellings; or (ii) buildings, including extensions and alterations to an existing building, that are consistent with streetscape character and residential appearance of the locality, and overlay area in which it is located; (d) do not unduly detract from or adversely impact the amenity, safety or privacy of nearby residences. 	No acceptable outcome is nominated.
Built Form		
PO ₈	<p>Buildings are of a height which is consistent with the intended character of the precinct in which the site is located (as expressed in the overall outcomes) and which do not unduly reduce privacy or access to sunlight to habitable rooms, private open space and solar panels on adjoining land.</p>	AO _{8.1} Buildings have a maximum height of two (2) storeys or 8.5m above ground level.

Performance outcomes	Acceptable outcomes										
<p>PO₉ The front building setback is consistent with the prevailing front setbacks of other buildings in the street.</p> <p><i>Note: The prevailing setback of the street is determined by the setbacks of the buildings on any lot along the road within 100m of the site.</i></p>	<p>AO_{9.1} Buildings are set back from the road frontage:</p> <ul style="list-style-type: none"> (a) within 10% of the average front setback of existing residential buildings within 100m of the site; or (b) where there are no adjoining buildings the front setback is provided in accordance with Table 1. <table border="1" data-bbox="867 516 1367 781"> <thead> <tr> <th colspan="2" data-bbox="867 516 1367 541">Table 1</th> </tr> <tr> <th data-bbox="867 541 1159 569">Building element</th> <th data-bbox="1159 541 1367 569">Minimum setback</th> </tr> </thead> <tbody> <tr> <td data-bbox="867 569 1159 623">Solid building wall (other than a garage)</td> <td data-bbox="1159 569 1367 623">4.0m</td> </tr> <tr> <td data-bbox="867 623 1159 678">Solid building wall (where for a garage)</td> <td data-bbox="1159 623 1367 678">5.5m</td> </tr> <tr> <td data-bbox="867 678 1159 781">Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)</td> <td data-bbox="1159 678 1367 781">3.5m (or 3m where secondary road frontage)</td> </tr> </tbody> </table> <p>AO_{9.2} Where the site has frontage to road other than a collector or local road, and buildings are not located in the Hospital Support Precinct:</p> <ul style="list-style-type: none"> (a) residential buildings are set back from that frontage in accordance with the requirements of the Queensland Development Code. (b) non-residential buildings are set back from the frontage by 6m. <p>AO_{9.3} Where involving a non residential use, buildings are set back a minimum 6m from the road frontage</p>	Table 1		Building element	Minimum setback	Solid building wall (other than a garage)	4.0m	Solid building wall (where for a garage)	5.5m	Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)
Table 1											
Building element	Minimum setback										
Solid building wall (other than a garage)	4.0m										
Solid building wall (where for a garage)	5.5m										
Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)										
<p>PO₁₀ Buildings are designed to a high aesthetic standard and to integrate with and enhance the locality, having regard to built form, open space, landscaping and the public realm parking, access, solar access of both onsite and adjoining properties.</p>	<p>No acceptable outcome is nominated.</p>										

Performance outcomes	Acceptable outcomes
<p>PO₁₁ Non-residential use buildings, including extensions or additions, exhibit design elements that are compatible with the scale and bulk intended for the precinct in which it is located and that complements the existing streetscape including:-</p> <ul style="list-style-type: none"> (a) buildings orient to and addresses the street frontage; (b) the main building entry faces the street at ground level; (c) building mass is broken up by articulation, fenestration, recesses and landscape elements to avoid large expanses of blank surfaces ; (d) differentiate between private houses and the non-residential use through variation in materials, patterns, textures and/or colours <p>Editor's note – examples of façade treatment to avoid expanses of blank wall may include (but is not limited to)</p> <ul style="list-style-type: none"> • windows are provided in any building façade facing the street or other public and communal space; • awnings, verandahs, pitched roofs and rectangular building plan forms are used in the building design. 	<p>No acceptable outcome is nominated.</p>
<p>PO₁₂ Where appropriate, development facilitates active transport and open space connections through the neighbourhood.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO₁₃ The site layout responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>PO₁₄ Except for Dwelling Houses site coverage:</p> <ul style="list-style-type: none"> (a) maximizes setbacks; (b) maximizes landscaping; (c) ensures adequate useable outdoor areas; (d) ensures adequate space for vehicle movement and parking areas; (e) maximizes solar access for internal and external living spaces; (f) does not compromise solar access for adjoining premises; and (g) does not result in overshadowing of adjoining properties. 	<p>AO₁₄ For development up to two (2) storeys site cover does not exceed 50% of the site area.</p> <p>For development over two (2) storeys no acceptable outcome is nominated.</p>
<p>PO₁₅ Impervious site coverage:</p> <ul style="list-style-type: none"> (a) ensures development maximizes on-site infiltration and minimizes the additional burden on drainage infrastructure; (b) reduces the visual impact of additional hardstand; (c) respects the existing or preferred neighbourhood character and responds to the features of the site; and (d) allows for the provision of an appropriate supply of landscaping and open space. 	<p>AO_{15.1} Impervious areas of the site do not exceed 70% of the site area.</p>

Performance outcomes	Acceptable outcomes
<p>PO₁₆ Side and rear building setbacks:</p> <ul style="list-style-type: none"> (a) enhance the appearance and character of streets and buildings; (b) are appropriate to the scale of the development and the intended character of the zone or precinct in which the site is located; (c) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site; (d) are sufficient to minimise overshadowing and overlooking of adjoining premises; (e) provide adequate separation and buffering between residential and non-residential premises; and (f) maximise opportunities for landscaping. 	<p>AO_{16.1} Buildings built to side boundaries have:</p> <ul style="list-style-type: none"> (a) a maximum height of 3m; and (b) a maximum length of 9m. <p><i>Note: Built to boundary walls require a 0.00m lot alignment.</i></p> <p>OR</p> <p>AO_{16.2} Buildings are set back from a side boundary in accordance with table 6.2.2:4 or the distance of the height of the retaining wall on the side boundary or combination of the height of the retaining wall and a fence, whichever is greater (Figure 1). Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall.</p> <p>AO_{16.3} Buildings are set back a minimum of 1m from a rear boundary or the distance of the cumulative height of the retaining wall and fence on the rear boundary (Figure 1). Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall.</p>  <p>Figure 1</p>
Street Trees	
<p>PO₁₇ Development is designed to enable the retention of existing street trees.</p>	<p>AO_{17.1} Development does not compromise or require the removal of any street tree.</p>

Performance outcomes	Acceptable outcomes
Amenity and Safety	
<p>PO₁₈ Development maintains a high level of residential amenity within the site and for surrounding areas, having regard to noise, odour, lighting, access to sunlight, privacy and outlook.</p>	<p>In partial compliance with the Performance Outcome:</p> <p>AO_{18.1} A densely planted landscaping strip a minimum width of 2m between any vehicle movement or parking area associated with a non-residential use and a boundary common with a residential use.</p> <p>AO_{18.2} The development does not result in solar access to habitable rooms and private open space of adjoining premises: -</p> <ul style="list-style-type: none"> (a) being reduced to less than 3 hours between 9am and 3pm on June 21; or (b) where existing overshadowing by building or fences is greater than this, sunlight is not reduced by 20% or greater.
<p>PO₁₉ Site layout, building design and landscaping facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) opportunities for casual surveillance and sightlines including to publicly accessible areas such as car parks, pathways, public toilets and communal areas; (b) exterior building design and orientation that promotes safety; (c) adequate definition of uses and public and private ownership; (d) adequate lighting; (e) appropriate way-finding mechanisms (e.g. signage); (f) minimisation of entrapment locations; and (g) building entrances, loading and storage areas being well lit and lockable after hours. 	<p>No acceptable outcome is nominated.</p>
<p>PO₂₀ Development is designed to incorporate graffiti-prevention measures.</p>	<p>AO_{20.1} Building design and layout incorporates the following features where practical:</p> <ul style="list-style-type: none"> (a) designs with an absence of 'natural ladders'; (b) minimal unbroken vertical surface areas; and (c) graffiti-deterrent surface treatments.

Performance outcomes	Acceptable outcomes
<p>PO₂₁ Development for a sensitive use on land within 250m of land within the Medium Impact Industry Zone must not result in that use being exposed to industrial air, noise or odour emissions that impact on human health, amenity and wellbeing.</p>	<p>AO_{21.1} The use is designed to ensure that:</p> <ul style="list-style-type: none"> (a) the indoor noise objectives set out in the <i>Environmental Projection (Noise) Policy 2008</i> are met; and (b) the air quality objectives in the <i>Environmental Protection (Air) Policy 2008</i>, are met. <p><i>Note: Design measures that may assist in achieving the acceptable outcome may include:</i></p> <ul style="list-style-type: none"> (a) landscaping; (b) setbacks; (c) the orientation of buildings away from the industrial area; (d) barriers, mounds and fencing; and/or screening.
<p>PO₂₂ Where located on land that is affected by environmental emissions generated by an operational rail corridor, sensitive development mitigates noise generated by the railway to the extent that it adversely impacts on the development.</p>	<p>No acceptable outcome nominated.</p>
<p>PO₂₃ Large trees are provided and maintained in building setback and open space areas to:</p> <ul style="list-style-type: none"> (a) establish a garden setting for the building and the local area; (b) contribute to the protection of privacy and amenity for adjoining premises; (c) provide a soft edge to the boundaries of development and driveways which run along a side boundary; and (d) provide shade over western walls and windows into habitable spaces. 	<p>AO_{23.1} The setback to front and side boundaries of a site contains trees of a species capable of reaching a height at maturity of at least 10m, planted at the rate of one (1) tree per 20m of boundary length.</p>
<p>Non-residential uses - Landscaping</p>	

Performance outcomes	Acceptable outcomes
<p>PO₂₄ Development for non-residential uses provides landscaping that:</p> <ul style="list-style-type: none"> (a) is consistent with the dominant landscape appearance of the streetscape and character of the precinct and overlay in which the site is located; (b) is an attractive interface between the use, the streetscape and adjoining residential uses (c) maintains: <ul style="list-style-type: none"> (i) the privacy and amenity for adjoining residential uses; (ii) sight lines and overlooking to public spaces and the street to enable casual surveillance; (iii) a clear pedestrian entry point for staff, visitors and customers that is separated from the driveway; (iv) established trees (including street trees) and other significant existing vegetation. 	<p>AO_{24.1} Where not involving the reuse of premises development provides a minimum 3m wide landscaped garden strip along the frontage of the site.</p>
Non-residential uses – Car Parking	
<p>PO₂₅ Development for non-residential uses provide car parking and loading and servicing areas that:</p> <ul style="list-style-type: none"> (a) are located to minimise impact on any adjoining residential premises and: (b) are located behind the building, and hardstand areas do not dominate the streetscape; (c) prioritise the movement and safety of pedestrians along the frontage of the site, and between the street frontage and the entrance to the building; (d) are integrated into the building design and/or include screening and buffering to reduce negative impact on adjoining residential uses 	<p>No acceptable outcome is nominated.</p>
Development Up to 3 Storeys Height in all Precincts	
<p>PO₂₆¹ Where a building of three (3) storeys or less, site coverage:</p> <ul style="list-style-type: none"> (a) ensures development maximises on-site infiltration and minimises the additional burden on drainage infrastructure; (b) minimises the impact of hard surface areas; and (c) respects the existing or preferred neighbourhood character and responds to the features of the site. 	<p>AO_{26.1}²Site cover does not exceed 50% of the site area.</p>

Performance outcomes	Acceptable outcomes
<p>PO₂₇ Side and rear building setbacks:</p> <ul style="list-style-type: none"> (a) enhance the appearance and character of streets and buildings; (b) are appropriate to the scale of the development and the intended character of the zone or precinct in which the site is located; (c) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site; (d) are sufficient to minimise overshadowing and overlooking of adjoining premises; and (e) provide adequate separation and buffering between residential and non-residential premises. 	<p><i>For accommodation activities (other than dwelling house and dual occupancy):</i></p> <p>AO_{27.1} Buildings are built to side boundaries where:</p> <ul style="list-style-type: none"> (a) a maximum height of 3m; and (b) a maximum length of 9m. <p>OR</p> <p>AO_{27.2} Buildings are set back from a side boundary in accordance with Table 6.2.2:4.</p> <p>AO_{27.3} Buildings are set back a minimum of 1m from a rear boundary.</p> <p><i>For non-residential development:</i></p> <p>AO_{27.4} Buildings are set back from a side boundary whichever the greater:</p> <ul style="list-style-type: none"> (a) a minimum 2.5m where building height is one storey with maximum height 8.5m; or (b) half the height of the building. <p>AO_{27.5} Buildings are set back from a rear boundary whichever is the greater:</p> <ul style="list-style-type: none"> (a) a minimum of 3m; or (b) the distance equivalent to the cumulative height of the retaining wall and fence on the rear boundary. Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall
Other Requirements for the Urban Consolidation Precinct	
<p>PO₂₈ Redevelopment of the Orfords Refrigeration site (256-264 Herries Street) provides for:</p> <ul style="list-style-type: none"> (a) active uses along the major road frontages of Vacy and Herries Street; (b) a new pedestrian link through the site providing an efficient connection between Clifford Gardens Major Centre and the Newtown District Centre; and (c) sensitive treatment of buildings facing east to protect the amenity and privacy of The Glennie School. 	<p>No acceptable outcome is nominated.</p>
<p>PO₂₉ Development does not prejudice the continued operation of established community facilities, including The Glennie School and the O'Quinn Street Defence Force Facility (including the Milne Bay Military Museum and Defence Community Organisation Centre).</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>PO₃₀ Development facilitates convenient pedestrian, cyclist and public transport linkages to nearby centres, community facilities and the open space network.</p>	<p>No acceptable outcome is nominated.</p>
Non-residential Development within the Office Residential Precinct	
<p>PO₃₁ Non-residential development exhibits design elements that are characteristic of, or compatible with, Dwelling Houses in the surrounding area.</p>	<p>AO_{31.1} Windows and/or doors are provided in any building facade facing any public or communal space.</p> <p>AO_{31.1} Awnings, verandahs, pitched roofs and rectangular building plan forms are used in the building design.</p> <p>AO_{31.1} Walls of more than 6 m in length, particularly the facade, are broken up by articulation, fenestration, recesses and landscape elements to avoid large expanses of blank wall.</p>
<p>PO₃₂ The development addresses, and provides for surveillance of, the street.</p>	<p>AO_{32.1} Buildings:</p> <ul style="list-style-type: none"> (a) is oriented to the street frontage rather than a side or rear boundary; and (b) has the main entry, and windows at Ground Level, on the principal street or street corner facade.
Development in the Hospital Support Precinct	
<p>PO₃₃ Side and rear building setbacks:</p> <ul style="list-style-type: none"> (a) enhance the appearance and character of streets and buildings; (b) provide for deep planting on all sides of the building; (c) are appropriate to the scale of the development; (d) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site; and (e) are sufficient to minimise overshadowing and overlooking of adjoining premises. 	<p>AO_{33.1} Buildings are setback at least 6m from the front boundary.</p> <p>AO_{33.2} Buildings are setback a minimum of 4m from side boundaries for the extent of the building(s) within 10m of the front boundary.</p> <p>AO_{33.3} Buildings are setback at least 6m from the rear boundary.</p> <p>AO_{33.4} A building involving residential purposes and of a height of four (4) storeys is separated by a minimum distance of 15m from another building involving residential purposes on the same site.</p>
<p>PO₃₄ The development addresses, and provides for surveillance of the street.</p>	<p>AO_{34.1} The building:</p> <ul style="list-style-type: none"> (a) is oriented to the street, except in relation to premises fronting Prosser Street in which case the building is oriented to the alternative street frontage with Holberton or Pioneer Streets; and (b) has the main entry, and windows at Ground Level, to the principal street (not being Prosser Street).

Performance outcomes	Acceptable outcomes
<p>PO₃₅ Parking and vehicular access is located to minimise the impact on any adjoining residential premises not in the Precinct.</p>	<p>AO_{35.1} Vehicular access point and car parking is setback a minimum of 3m with any residential premises not in the Precinct.</p> <p>AO_{35.2} In respect to lots fronting Prosser Street between Herman and Holberton Streets, development for non-residential purposes is only carried out if the lot is amalgamated with land fronting Pioneer or Holberton Street and all access, including pedestrian access, to the development is provided via Pioneer or Holberton Street.</p>

(13) Part 6.6.2.2 (4)(a) Emerging Community Zone Code

omit, insert-

- (a) Development for new communities
 - (i) occurs after detailed land use master planning and infrastructure planning of areas within the zone has been undertaken;
 - (ii) is guided by and achieves the outcomes of the relevant Local Plan;
 - (iii) occurs in a logical pattern that facilitates the timely and cost efficient provision of infrastructure and supports the staged release of land;
 - (iv) dual occupancy development is dispersed throughout residential neighbourhoods and does not become the dominant housing form in the street;
 - (v) a high level of integration with existing and future urban development is achieved having regard to movement networks, open space and recreational facilities, centres and community infrastructure;
 - (vi) urban development in accordance with a master planning process provides for a variety and diversity of housing types and achieves a minimum dwelling yield of 15 dwellings per hectare net;
 - (vii) movement networks are established to promote active transport (walking and cycling) and public transport;
 - (viii) development retains and protects significant environmental, topographic, scenic and cultural features and values;
 - (ix) development provides for sufficient buffering to existing or intended non urban or incompatible uses in surrounding areas;

(14) Part 6.6.9.2(2) Township Zone Code:

omit, insert-

- (2) The overall outcomes sought for the zone code are as follows:
 - (a) a range of retail, commercial, industrial, administrative and cultural uses are provided that:
 - (i) are of a scale appropriate to serve the needs of the community and does not adversely affect the viability of other centres;
 - (ii) are conveniently located and accessible to residents and visitors;
 - (iii) are co-located with existing non-residential activities is preferred to reinforce a community focus/node, such as a main street; and
 - (iv) do not have adverse impacts on surrounding residential uses are minimised.

- (b) a range of residential dwelling types are provided which reflect local housing needs and are developed at residential densities that are lower than that for other urban settlement areas;
- (c) dual occupancy development is dispersed throughout residential neighbourhoods and does not become the dominant housing form in the street;
- (d) development protects and enhances the unique local or historic character of a town in a predominantly rural area;
- (e) development services the needs of both local residents, residents of the surrounding rural area and visitors;
- (f) development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and encourages sustainable transport use;
- (g) development is reflective of and responsive to the environmental constraints of the land;
- (h) community facilities and infrastructure which directly supports the local community are facilitated;
- (i) development has access to a range of development infrastructure, including utility installations and essential services but may not include all forms of urban services, particularly reticulated wastewater;
- (j) development provides a high level of amenity; and
- (k) development is facilitated where it has a direct relationship with the local or historic character of the town.

Clause 8 Amendment of Part 9 – Development Codes

(1) Part 9.3.7 Medium Density Residential Code-

omit, insert-

9.3.7 Medium Density Residential Code in the form shown in Appendix 1.

(2) Part 9.3-

insert after 9.3.9-

9.3.10 Small Lot Housing Design Code in the form shown in Appendix 2.

(3) Part 9.3, after new 9.3.10-

renumber.

(4) Part 9.4.3 Integrated Water Cycle Management Code-

omit-

All references to Environmental values and water quality objectives are established pursuant to Environment Protection Policy (Water). Reference should also be made to the draft Urban Stormwater – Queensland Best Practice Environmental Management Guidelines 2009

insert-

State Planning Policy (July 2017) Appendix 2 – Stormwater management design objectives

(5) Part 9.4.5.2 Lot Reconfiguration Code, after (2) (b)-

insert-

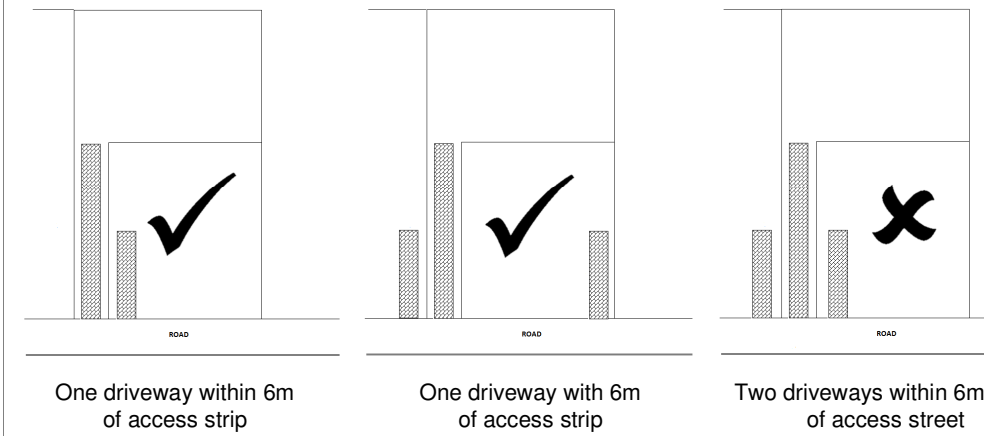
- (c) Lot reconfigurations facilitate the achievement of dwelling yields in the order of:
 - (i) 15 dwellings per hectare net in the Low Density Residential

- Zone; and
- (ii) 30 dwellings per hectare net in the Low-medium Density Residential Zone.
- (6) Part 9.4.5.2, after new (2) (c)-
renumber.
- (7) Part 9.4.5.3, table 9.4.5:2, before PO1(f)-
omit, -
and
- (8) Part 9.4.5.3, table 9.4.5:2, after PO1(f)-
insert-
; and
- (g) creates lots which are suitable for their intended use without requiring significant earthworks.
- (9) Part 9.4.5.3, table 9.4.5:2, AO_{3.1}-
omit,insert-
AO_{3.1} A lot with an area of less than 450m² intended to be used for a dwelling house has a natural slope:
- (a) across the width of the lot not exceeding 10%; and
- (b) along the length of the lot not exceeding 5%.
- (10) Part 9.4.5.3, table 9.4.5:2, AO_{10.1}-
omit,insert-
AO_{10.1} Reconfigurations in the Low-medium Density Residential Zone facilitate a minimum residential density of 30 dwellings per hectare.
- (11) Part 9.4.5.3, table 9.4.5:2, after PO₁₃-
omit, insert-
PO₁₅ In the Rural Zone, the productive capacity, landscape character and scenic amenity values of rural land is protected from the reconfiguration of lots that facilitates inappropriate intensification of development in the zone.
- (12) Part 9.4.5.3, table 9.4.5:2, after PO₄₇-
insert-

Hatchet Lots	
<p>PO₄₆ Lot reconfigurations only create hatchet lots as a means of increasing residential densities in within:</p> <ul style="list-style-type: none"> (a) Walking catchments around centres offering a broad range of goods, facilities and services (being 800m around Major and 400m around District centres and designated Local centres within the centre hierarchy); (b) Land that benefits visually from high quality parkland; (c) Walking catchments around major non-industrial employment areas (land within 800m walk of 1000 or more non-industrial jobs); (d) A central transport corridor bounded by Nelson, West, Jellicoe and Hume street, and (e) An 800m walking catchment of the University of Southern Queensland (Toowoomba campus). 	<p>AO_{46.1} Lot reconfigurations only create hatchet lots in the Low-medium Density Residential Zone.</p>
<p>PO₄₇ The location and configuration of the access strip/easement and main body does not compromise:</p> <ul style="list-style-type: none"> (a) the streetscape qualities of the area; (b) the residential amenity of the area; or (c) the Street System. 	<p>AO_{47.1} Only 1 Hatchet Lot is created behind any full frontage lot as shown in figure 1 below.</p> <p>Figure 1</p> <p>AO_{47.2} The access strip/easement to the Hatchet Lot is located on only 1 side of the lot with direct frontage to the street as illustrated in figure 2 below.</p> <p>Figure 2</p>

<p>PO₄₈ The configuration of hatchet lots maintain the ability of existing buildings and structures to –</p> <ul style="list-style-type: none"> (a) provide adequate daylight and ventilation to habitable rooms; (b) allow adequate light and ventilation to habitable rooms of buildings on adjoining lots; and (c) not adversely impact on the amenity and privacy of residents on adjoining lots. 	<p>AO_{48.1} Where the lot reconfiguration creates a hatchet lots the new lot boundaries create setbacks to existing dwellings that comply with the minimum distances in the Queensland Development Code or relevant planning scheme code.</p>
<p>PO₄₉ The access strip/easement:</p> <ul style="list-style-type: none"> (a) has a minimum width of 6 metres; (b) is located on the southern or western side of the lot; (c) has a maximum length of 30 metres; (d) is located so that there is no more than one driveway serving an adjoining property within 6 metres of the access strip/easement boundary (see figure 3). 	<p>No acceptable outcome is nominated.</p>


Figure 3



<p>PO₅₀ Stormwater is discharged from the site to a lawful point of discharge, as defined in the Queensland Urban Drainage Manual (QUDM), without the use of pumped or charged pipe systems, and not to private land other than to an easement for stormwater purposes befitting the site and allowing discharge to a lawful point of discharge in land over which Council has tenure or control.</p> <p>Note: Land over which Council has tenure or control does not include Council's open space network.</p>	<p>AO_{50.1} The site:</p> <ul style="list-style-type: none">(a) has a natural surface with an elevation that is higher than the abutting road and enables stormwater to drain gravitationally to the abutting road via subsurface pipes; or(b) has a natural surface with an elevation that is higher than Council's stormwater drainage network in the abutting road and enables stormwater to drain gravitationally to the stormwater drainage network in the abutting road via subsurface pipes; or(c) has lawful access to an inter allotment drainage network with available capacity to meet the requirements of the development.
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Reconfigurations creating lots less than 450m² in area in a residential zone	
<p>PO₅₁ Lot reconfigurations creating lots less than 450m² and at least 20 new lots, facilitate the orderly, neighbourly, integrated and timely development of those lots through a Plan of Development.</p> <p>Note:</p> <p><i>Orderly</i> neatly and methodically arranged.</p> <p><i>Neighbourly</i> exhibiting the qualities expected in a friendly neighbour.</p> <p><i>Integrated</i> combining or coordinating separate elements so as to provide a harmonious, interrelated whole</p> <p><i>Timely</i> done or occurring at a favourable or useful time.</p>	<p>AO_{51.1} Lot reconfigurations creating lots less than 450m² incorporate a Plan of Development prepared by a suitably qualified professional(s) that sets development standards that comply with the performance outcomes within the Small Lot Housing Design Code and which includes, but is not limited to, the location of the following:</p> <p>(a) the lot layout and streets, including lot numbers, lot areas, street reserve widths, street or road carriageways (may include bus stops, taxi ranks, loading zones and similar service areas where proposed), and location and width of footpaths;</p> <p>(b) land slope and major infrastructure items;</p> <p>(c) primary and secondary street frontages (if necessary);</p> <p>(d) public open space areas, including lot number and area;</p> <p>(e) built-to-boundary wall locations (including mandatory built-to-boundary situations);</p> <p>(f) where privacy fencing is required at an interface with a street or park; fencing and, if sloping land, retaining wall details;</p> <p>(g) for lots under 450m²:</p> <p>(i) location, areas and dimensions of private open space;</p> <p>(ii) building envelopes indicating minimum setbacks, access points, and heights; and</p> <p>(iii) driveway crossovers.</p>

PO ₅₂ The lots are located on a road that is appropriate to accommodate small lots.	AO _{52.1} Small lots are located in accordance with the following table:	
	Proposed lot width	Vehicle Access Location
	Lot width <10m	Laneway, Local or collector roads only
	Lot width 10 – 12.4m	Laneway, Local or collector roads only
	Lot width 12.5 – 14.9m	Laneway, Local, collector or distributor roads only
	Lot width >15m	Laneway, Local, collector, distributor or sub-arterial roads only
	Note: Direct access is not typically available to sub-arterial roads and limited to distributor roads (see PSP No.2 Sc6.2.2.2).	
PO ₅₃ Small lots are located so as to minimise the need to cut and fill the land.	AO _{53.1} Small lots are located on land with a pre-development gradient of less than 10%;	
PO ₅₄ Development provides a frequency of standard and small lots which are varied to facilitate housing variety.	AO _{54.1} There are no more than six (6) contiguous small lots along a street frontage, with groups of two (2) or more small lots separated by at least two (2) standard lots.	

Reconfigurations facilitating Dual Occupancy development	
<p>PO₅₅ Lot reconfigurations within the Low Density Residential Zone, Low-medium Density Residential Zone, Emerging Community Zone and Township Zone facilitate the integration of Dual Occupancy development into residential neighbourhoods in a manner that is dispersed and does not result in Dual Occupancy becoming the dominant form of housing within a street.</p>	<p>AO_{55.1} Lot reconfigurations designate lots for Dual Occupancy development;</p> <p>AO_{55.2} No more than 20 percent of the properties within a street block are designated for Dual Occupancy development.</p> <p>AO_{55.3} No more than three (3) adjoining properties within a street block are designated for Dual Occupancy development.</p> <p>AO_{55.4} Hatchet lots are not designated as Dual Occupancy lots.</p> <p>See Figure 4</p>  <p>Each red line in this figure is an example of the extent of a street block.</p> <p>No more than 20 percent of properties within the street block are designated for dual occupancy development.</p>
	<p>Figure 4</p>

<p>PO₅₆ Lots designated for Dual Occupancy development by lot reconfigurations within the Low Density Residential Zone, Low-medium Density Residential Zone, Emerging Community Zone and Township Zone have an area, shape and dimensions suitable to accommodate their intended use.</p>	<p>AO_{56.1} Lots designated for Dual Occupancy development:</p> <ul style="list-style-type: none"> (a) have a minimum area of 500m² where in the Low-medium Density Residential Zone; or (b) have a minimum area of 700m² where in the Low Density Residential Zone, Emerging Community Zone or Township Zone; and (c) are rectilinear in shape; and (d) have a frontage that is consistent with the minimum frontage required for the applicable zone.
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(13) Part 9.4.5.3, table 9.4.5:4 - Lot Sizes and Dimensions – requirements for accepted development and assessment benchmarks for assessable development,

omit-

Rows corresponding with Hatchet Lot type under Low Density Residential Zone

insert-

Hatchet	Hatchet lots do not occur within the Low Density Residential Zone.
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(14)

(14) Part 9.4.5.3, table 9.4.5:4 - Lot Sizes and Dimensions – requirements for accepted development and assessment benchmarks for assessable development,

omit-

No minimum lot size within Regular and corner Lot type under Low-medium Density Residential Zone

insert-

300 m²

(15) Part 9.4.5.3, table 9.4.5:4 - Lot Sizes and Dimensions – requirements for accepted development and assessment benchmarks for assessable development,

omit-

Rows corresponding with Hatchet Lot type under Township Zone

insert-

Hatchet	Hatchet lots do not occur within the Township Zone.
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(16) Part 9.4.6.3 Table 9.4.6:3 – Car Parking Provision Rates-

omit-

Row corresponding with the use Dwelling House.

insert-

Dwelling House	One (1) parking space where the dwelling has one (1) or two (2) bedrooms. Two (2) parking spaces where the dwelling has three (3) or more bedrooms.	Nil.
----------------	--	------

(17) Part 9.4.6.3 Table 9.4.6:3 – Car Parking Provision Rates-
omit-

Row corresponding with the use Multiple Dwelling.

insert-

Multiple Dwelling	One (1) space per one (1) bedroom dwelling. Two (2) spaces for each dwelling with two (2) or more bedrooms One (1) visitor space for every four (4) dwellings.	1 SRV where more than 10 units.
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Clause 9 Amendment of Schedule 1 - Definitions

(1) SC1.2, Table SC1.2:1 – index of administrative definitions

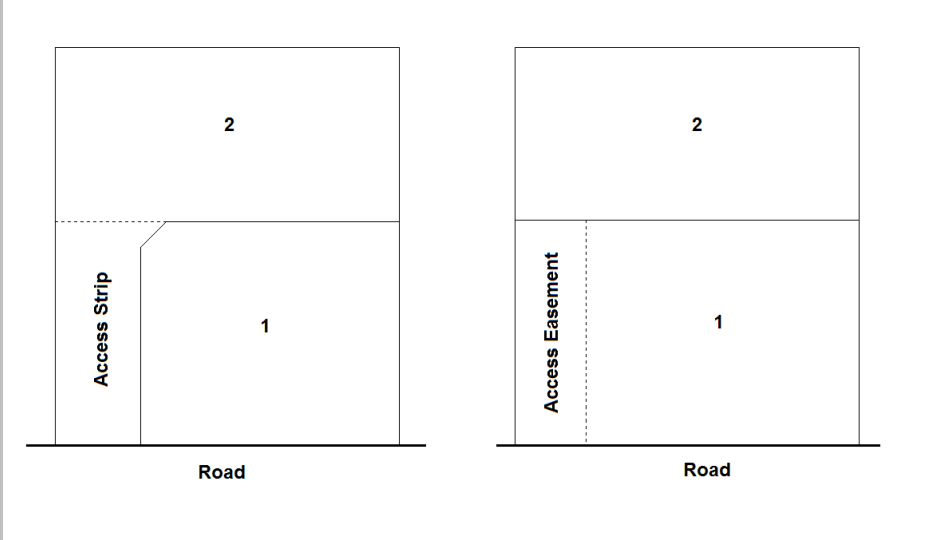
insert, in alphabetical order –

- Designated Dual Occupancy Lot
- Greenfield Area
- Hatchet Lot
- Impervious Site Cover
- Plan of Development
- Small Lot

(2) SC1.2, Table SC1.2:2 – Administrative definitions

insert, in alphabetical order-

Designated Dual Occupancy lot	a lot designated for a dual occupancy on a Dual Occupancy Designation Plan and endorsed by a development approval for the Reconfiguration of a Lot.
Greenfield Area	land within the Low density Residential Zone, Low-medium Density Residential Zone, Emerging Community Zone or Township Zone and designated by the planning scheme as a 'Greenfield Area'.

<p>Hatchet lot</p>	<p>hatchet lot means a lot:</p> <ul style="list-style-type: none"> (a) located behind another lot, (b) that has a strip of land (an access strip) or an access easement connecting the main body of the lot to the street, and (c) that has a frontage to the street that is less than the minimum frontage prescribed for the zone/precinct in which it is located. <p>The hatchet lot is identified as 2 in the figure below</p>  <p>Note: When calculating the area of a hatchet lot the area of the access easement or access strip is not included. The frontage width of a hatchet lot is the length of the lot boundary that abuts the road,</p>
<p>Impervious site cover</p>	<p>impervious site cover means the portion of the site, expressed as a percentage, that will be covered by:</p> <ul style="list-style-type: none"> (a) a building or structure, measured to its outermost projection, after the development is carried out, including a building or part of a building that is/ in a landscaped or open space area (a gazebo or garden shed for example); and (b) an impervious surface (driveway, path, tennis court for example).
<p>Plan of Development</p>	<p>Plan of Development means a plan accompanying an application for a material change of use or reconfiguring a lot, which when approved becomes the primary documentation for the ongoing regulation of subsequent development of the subject land.</p> <p>A Plan of Development is prepared by an applicant and can include maps, graphics, and text that collectively demonstrate how proposed uses, works and lots will contribute towards achieving related overall and performance outcomes of the scheme.</p> <p>The Plan of Development can only cover land included within the related application.</p>
<p>Small lot</p>	<p>small lot means a lot (as defined by the Land Act 1994) that has an area less than 450m².</p>

Clause 10 Amendment of Schedule 2 – Zone Mapping

(1) Zone maps-

omit, insert-

The following Zone maps in the form shown in appendix 3:

Crows Nest 02

Crows Nest 03

Oakey 05

Oakey 08

T19, T20, T27, T28, T29, T40, T41, T42, T47, T48, T49, T54, T55, T56, T57, T61, T62, T63, T64, T67, T68, T69, T70, T71, T75, T76

(2) Zone maps-

Modify the zone maps to include the Greenfield Area designations as shown on the maps in appendix 4.

Clause 11 Amendment of Schedule 7 – Approved Plans of Development

(1) Schedule 7 – Approved Plans of Development-

insert after Schedule 6-

Schedule 7 Approved Plans of Development in the form shown in appendix 5.

Appendix 1 – Medium Density Residential Code

9.3.7 Medium Density Residential Code^{34, 35}

9.3.7.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Medium Density Residential Code by the categories of development and assessment tables in Part 5 – Tables of Assessment

9.3.7.2 Purpose

- (1) The purpose of the Medium Density Residential Code is to guide the development of the following uses to ensure that medium density residential development creates pleasant, safe and attractive living environments while facilitating a range of housing types that sensitively blend with existing streetscapes and neighbourhoods and facilitate increased population within proximity to major centres:
 - (a) Dual Occupancy
 - (b) Dwelling House (where on a hatchet lot which is 450m² or greater)
 - (c) Multiple Dwelling.
 - (d) Nature-based Tourism.
 - (e) Non-resident Workforce Accommodation.
 - (f) Relocatable Home Park.
 - (g) Residential Care Facility.
 - (h) Retirement Facility.
 - (i) Resort Complex.
 - (j) Rooming Accommodation.
 - (k) Short-Term Accommodation.
 - (l) Tourist Park.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the character, scale and density of development are commensurate with the purpose and overall outcomes of the zone and (where applicable) zone precinct in which the development is proposed;
 - (b) Dual occupancy development is integrated within residential neighbourhoods in a dispersed manner, distributing density in a way that has regard to the existing /intended character of the neighbourhood and zone in which it is located;
 - (c) The design and layout of the development:
 - (i) enhances access to housing diversity, offering choice to different household types and individuals to suit residents through different life-cycle stages;
 - (ii) reflects and contributes to the qualities of the local streetscape and Toowoomba's Garden City character;
 - (iii) responds to the site's natural and built context, such as orientation, topography, vegetation and climate and nearby buildings' aesthetic qualities such as their scale, form and materials;
 - (iv) has a density appropriate for a site and its context in keeping with existing or preferred transitional neighbourhood character;
 - (v) provides design elements that reflect and enhance local character and identity and strengthens site features such as views, heritage values and significant vegetation;

³⁴ Amended on 3 November 2014

³⁵ Amended on 29 November 2019

- (vi) provides an appropriate scale in terms of the bulk and height relative to the scale of the street and surrounding buildings (in keeping with existing or preferred transitional neighbourhood character);
- (vii) maintains neighbourhood amenity and does not create unacceptable impacts on surrounding premises;
- (viii) achieves an appropriate built form for a site and building in terms of building alignment and proportions;
- (ix) provides safe and equitable access for pedestrians and vehicles;
- (x) facilitates a high level of residential amenity, including provision of adequate safety, privacy, access to sunlight and open space within the site and to adjacent properties; and
- (xi) incorporates high-quality landscaping that contributes to the desired character of the area and recognises that landscape and buildings operate as an integrated and sustainable system.

9.3.7.3 Requirements for accepted development and assessment benchmarks for assessable development

Table 9.3.7:1 – Medium Density Residential Code – Requirements for accepted development and assessment benchmarks for assessable development

Performance outcomes	Acceptable outcomes
Where a Dual Occupancy	
<p>PO₁ Dual Occupancy development is dispersed within residential neighbourhoods, not clustering in groups of more than three adjoining or opposite sites, and does not become the dominant form of housing within a street by occupying more than 20 percent of properties within a street block.</p>	<p>AO_{1.1} <u>In Greenfield Areas</u> Dual Occupancy development occurs on designated Dual Occupancy lots.</p>
<p>PO₂ The development is designed in a manner that responds to the sites opportunities and constraints, including any existing building on the lot, and to the broader urban and streetscape contexts.</p> <p>Note: Development should be designed and documented by a suitably qualified professional (i.e. architect or building designer). Details of professional qualifications should be noted on drawings submitted with any development application</p>	<p>AO_{2.1} The design of the development considers and responds to:</p> <ul style="list-style-type: none"> a) Site specific qualities including: <ul style="list-style-type: none"> i) site topography and slope (contours at a minimum of 1m intervals); ii) Views iii) solar aspect and access; iv) prevailing breezes v) existing buildings on the site; vi) site access vii) services viii) identification of buildings to be demolished; ix) existing vegetation (locations to be surveyed and the diameter of the trunk at 1m above ground level shown. On highly buttressed trees the extent of buttressed roots is to be shown); x) proposed position of new buildings overlaid b) Nearby features including: <ul style="list-style-type: none"> i) opportunities for on street visitor car parking; ii) buildings on adjoining land iii) important views from neighbouring properties iv) features and character of adjoining land and buildings including doors & windows v) street fixtures; c) Local qualities and amenities including: <ul style="list-style-type: none"> i) available public transport; ii) nearby amenities such as parks, shops <p>AO_{2.2} Site design retains all existing street trees.</p> <p>Note: See Figure 1 below for examples of site analysis and nearby feature plans.</p>

Performance outcomes	Acceptable outcomes
<p style="text-align: center;">Figure 1</p>	
<p>PO₃ Development responds to the slope of the land in the siting, design and form of buildings and structures to minimise requirements for cut and fill.</p>	<p>AO_{3.1} Cut and fill beyond natural ground level does not exceed a vertical distance of 1m, unless contained within building walls and in accordance with the requirements outlined in SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p> <p>Note: See Figure 2.</p> <p>AO_{3.2} Batters and earth-retaining structures are constructed in accordance with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>

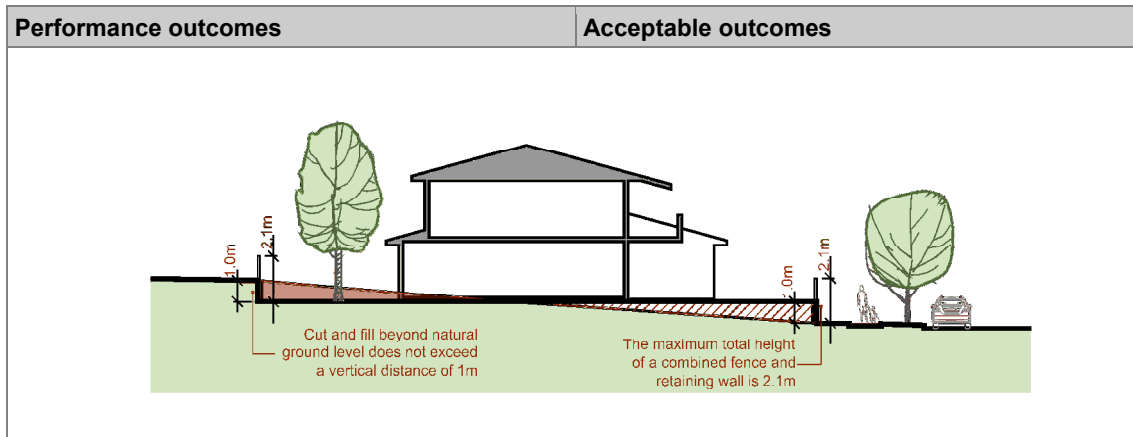


Figure 2

<p>PO₄ Development is designed to facilitate the retention of any existing street tree adjacent to the site.</p>	<p>AO_{4.1} Development does not compromise or require the removal of any street tree.</p>																
<p>PO₅ Development:</p> <ul style="list-style-type: none"> (a) provides for the on-site infiltration of stormwater and minimises the additional burden on drainage infrastructure; (b) minimises the visual impact of hard surface areas; and (c) respects the existing or preferred neighbourhood character and responds to the features of the site. 	<p>AO_{5.1} The impervious site cover does not exceed Table 1:</p> <table border="1" style="margin-left: auto; margin-right: auto; border-collapse: collapse; text-align: center;"> <thead> <tr> <th colspan="2">Table 1</th> </tr> <tr> <th style="width: 60%;">Average building height</th> <th style="width: 40%;">Maximum impervious site cover</th> </tr> </thead> <tbody> <tr> <td>If both of the proposed dwellings are 1 storey</td> <td>70%</td> </tr> <tr> <td>If one or both of the proposed dwellings is 2 storeys</td> <td>65%</td> </tr> </tbody> </table> <p>AO_{5.2} No more than 50% of the front setbacks area is impervious.</p> <p>AO_{5.3} Site cover does not exceed rates specified in Table 2.</p> <table border="1" style="margin-left: auto; margin-right: auto; border-collapse: collapse; text-align: center;"> <thead> <tr> <th colspan="2">Table 2</th> </tr> <tr> <th style="width: 60%;">Dwelling Height</th> <th style="width: 40%;">Maximum site cover</th> </tr> </thead> <tbody> <tr> <td>If both of proposed dwellings are 1 storey</td> <td>50%</td> </tr> <tr> <td>If one of proposed dwellings is 2 storeys</td> <td>45%</td> </tr> </tbody> </table> <p>Note: See Figure 3.</p>	Table 1		Average building height	Maximum impervious site cover	If both of the proposed dwellings are 1 storey	70%	If one or both of the proposed dwellings is 2 storeys	65%	Table 2		Dwelling Height	Maximum site cover	If both of proposed dwellings are 1 storey	50%	If one of proposed dwellings is 2 storeys	45%
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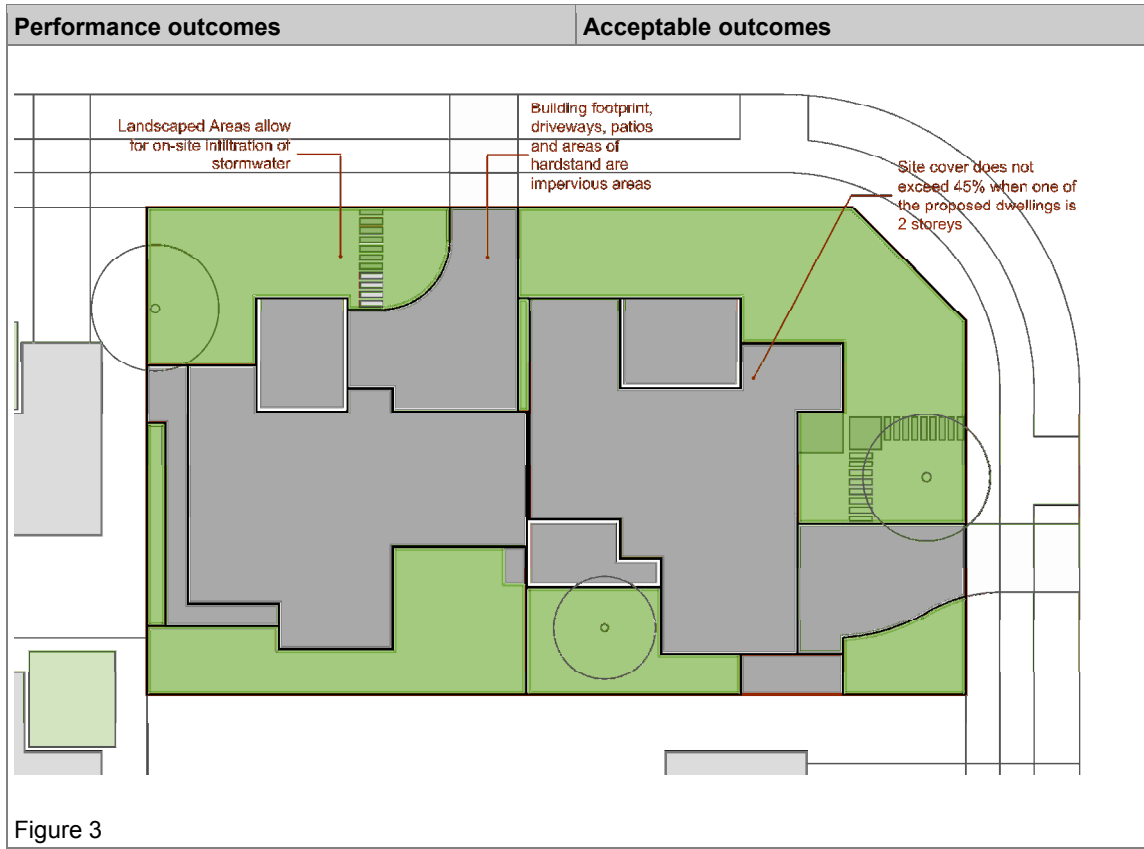


Figure 3

Performance outcomes	Acceptable outcomes																		
<p>PO₆ Areas of hardstand required for parking and pathways:</p> <ul style="list-style-type: none"> (a) are minimised, (b) incorporate generous landscaping: <ul style="list-style-type: none"> (i) to promote a garden streetscape character, and (ii) to minimise visual impacts of views to hardstand areas for occupants and the public, particularly in the front garden. 	<p>AO_{6.1} Landscaped areas are provided in accordance with Table 3:</p> <table border="1" data-bbox="699 450 1217 1178"> <thead> <tr> <th colspan="3" data-bbox="699 450 1217 501">Table 3</th> </tr> <tr> <th data-bbox="699 510 868 555">Building height</th> <th colspan="2" data-bbox="874 510 1217 555">Minimum landscaped area</th> </tr> <tr> <td data-bbox="699 564 868 936"></td> <td data-bbox="874 564 1043 936">Where 80% or more of the front setback is landscaped area additional landscaping for the balance of the site must be a minimum of:</td> <td data-bbox="1050 564 1217 936">Where less than 80% of the front setback area is landscaped additional landscaping for the balance of the site must be a minimum of:</td> </tr> </thead> <tbody> <tr> <td data-bbox="699 945 868 1012">1-2 storeys</td> <td data-bbox="874 945 1043 1012">10% site area</td> <td data-bbox="1050 945 1217 1012">15% site area</td> </tr> <tr> <td data-bbox="699 1021 868 1088">3 storeys</td> <td data-bbox="874 1021 1043 1088">12.5% site area</td> <td data-bbox="1050 1021 1217 1088">17.5% site area</td> </tr> <tr> <td data-bbox="699 1097 868 1164">4+ storeys</td> <td data-bbox="874 1097 1043 1164">15% site area</td> <td data-bbox="1050 1097 1217 1164">20% site area</td> </tr> </tbody> </table> <p>Note: Landscaped areas included in the calculations consist of garden beds and lawn areas throughout the site with a width of no less than 1.5m;</p> <p>Excludes all paved and other impervious areas such as driveways, patios, terraces, car parking spaces and bin and other utility areas.</p> <p>See Figure 4.</p>	Table 3			Building height	Minimum landscaped area			Where 80% or more of the front setback is landscaped area additional landscaping for the balance of the site must be a minimum of:	Where less than 80% of the front setback area is landscaped additional landscaping for the balance of the site must be a minimum of:	1-2 storeys	10% site area	15% site area	3 storeys	12.5% site area	17.5% site area	4+ storeys	15% site area	20% site area
Table 3																			
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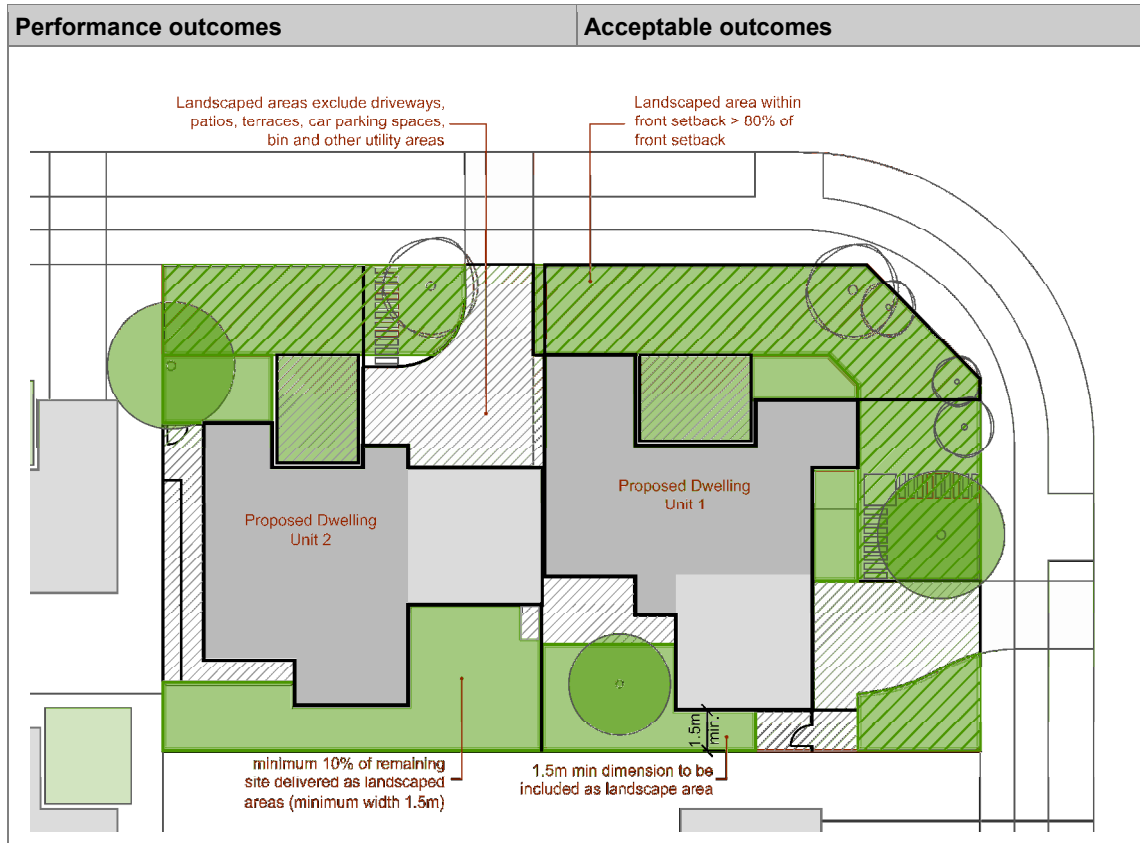


Figure 4

PO7 The front building setback is consistent with the prevailing front setbacks of other residential buildings in the street.

Note: The prevailing setback of the street is determined by the setbacks of the residential buildings on any lot along the road within 100m of the site.

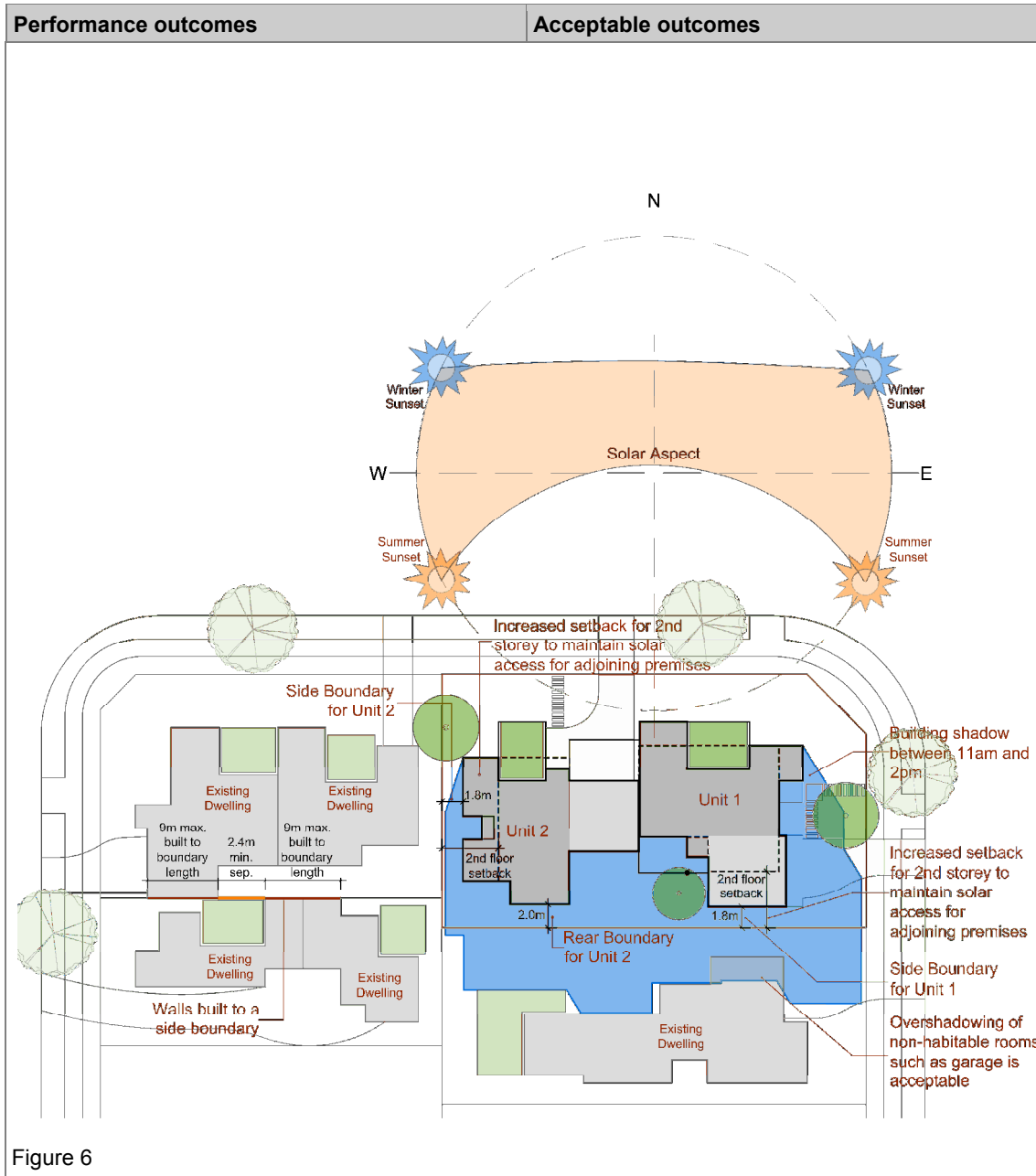
AO7.1 Buildings are setback from the road frontage:

- (a) within 10% of the average front setback of existing residential buildings within 100m of the site; or
- (b) where there is no adjoining buildings the front setback is provided in accordance with Table 4.

Table 4	
Building element	Minimum setback
Solid building wall (other than a garage)	4.0m
Solid building wall (where for a garage)	5.5m
Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)

Note: See Figure 5.

Performance outcomes	Acceptable outcomes
<p>PO₈ Side and rear building setbacks:</p> <ul style="list-style-type: none"> (a) are appropriate to the scale of the development and the intended character of the zone and/or precinct and local plan in which the site is located; (b) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site; and (c) are sufficient to minimise overshadowing and overlooking of adjoining premises. 	<p>AO_{8.1} Any part of a building built to a side boundary:</p> <ul style="list-style-type: none"> (a) must not exceed a maximum height of 3.5m; (b) must not exceed a maximum length of 9m; (c) must be a minimum distance of 2.4m from any other wall built to the side boundary (whether on the site or an adjoining site) or be joined to another built to boundary wall if on a adjoining site; and (d) must not exceed a maximum total length of 50% of the side boundary. <p>OR</p> <p>AO_{8.2} Buildings are set back from side boundaries in accordance with the following:</p> <ul style="list-style-type: none"> (a) <u>For lots with frontages less than 20m:</u> <ul style="list-style-type: none"> (i) 1.2m for any part of the building up to 3.5m high; and (ii) 2m for any part of the building above 3.5m high. (b) For lots with frontages greater than 20m: <ul style="list-style-type: none"> (i) 1.8m for any part of the building up to 3.5m high; and (ii) 2.4m for any part of the building above 3.5m high. <p>AO_{8.3} Buildings are set back from the rear boundary a minimum of 3m.</p> <p>AO_{8.4} Development ensures that solar access to habitable rooms and private open space of adjoining premises: -</p> <ul style="list-style-type: none"> (a) achieves a minimum of 3 hours of sunlight between 9am and 3pm on June 21; or (b) is not further reduced where existing solar access is less than that specified in (a). <p>Note: See Figure 6.</p>



Performance outcomes	Acceptable outcomes
<p>PO₉ Development provides adequate and suitable private open space to meet the needs of occupants for privacy, relaxation and entertainment and to accommodate visitors.</p>	<p>AO_{9.1} Private open space has a minimum area of 16m² and minimum dimensions of 4 metres by 4 metres.</p> <p>AO_{9.2} Private open space is:</p> <ul style="list-style-type: none"> (a) is oriented to receive at least three hours of sun between 9am and 5pm on 21 June. (b) directly accessible from a living area or kitchen; (c) fenced or landscaped to achieve privacy for occupants; (d) clear of bins, clothes lines, hot water systems, air conditioning units, above ground water tanks and associated infrastructure and other forms of ancillary equipment and (e) not located within the front setback area. <p>Note: See Figure 7.</p>

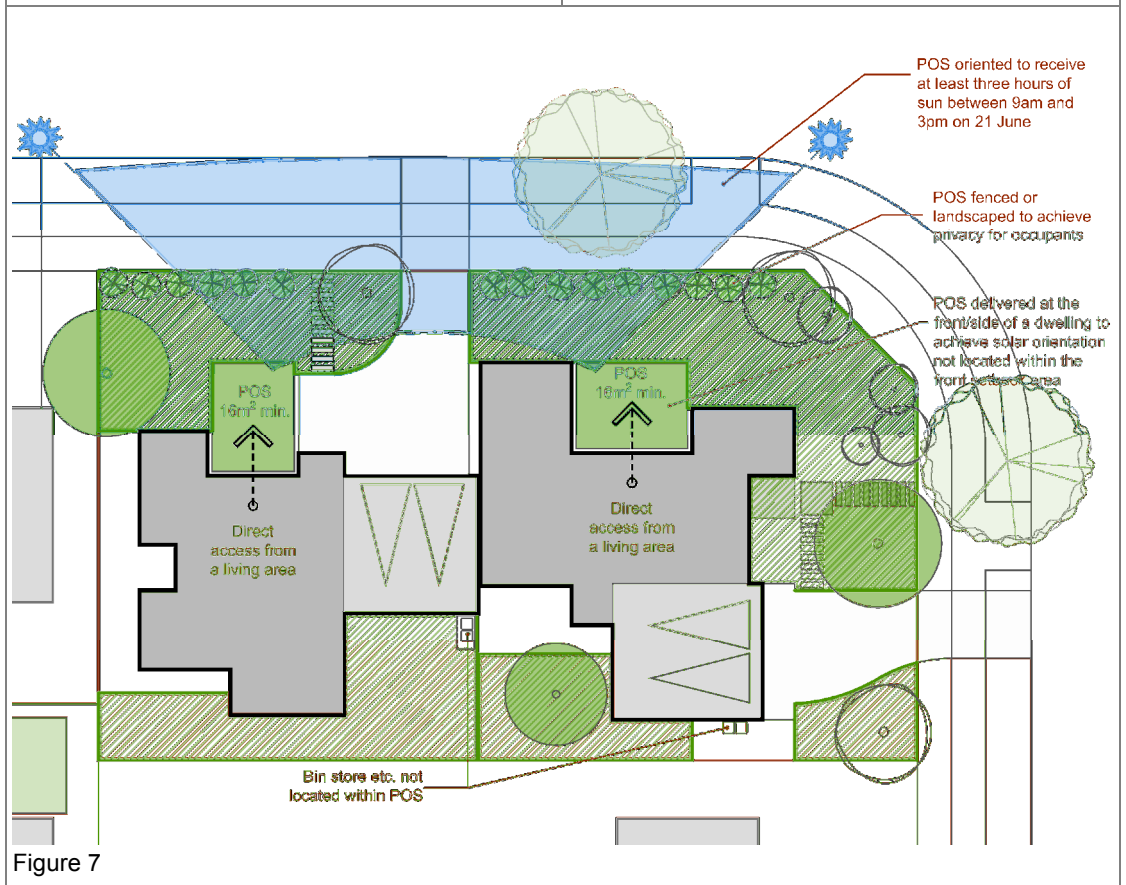
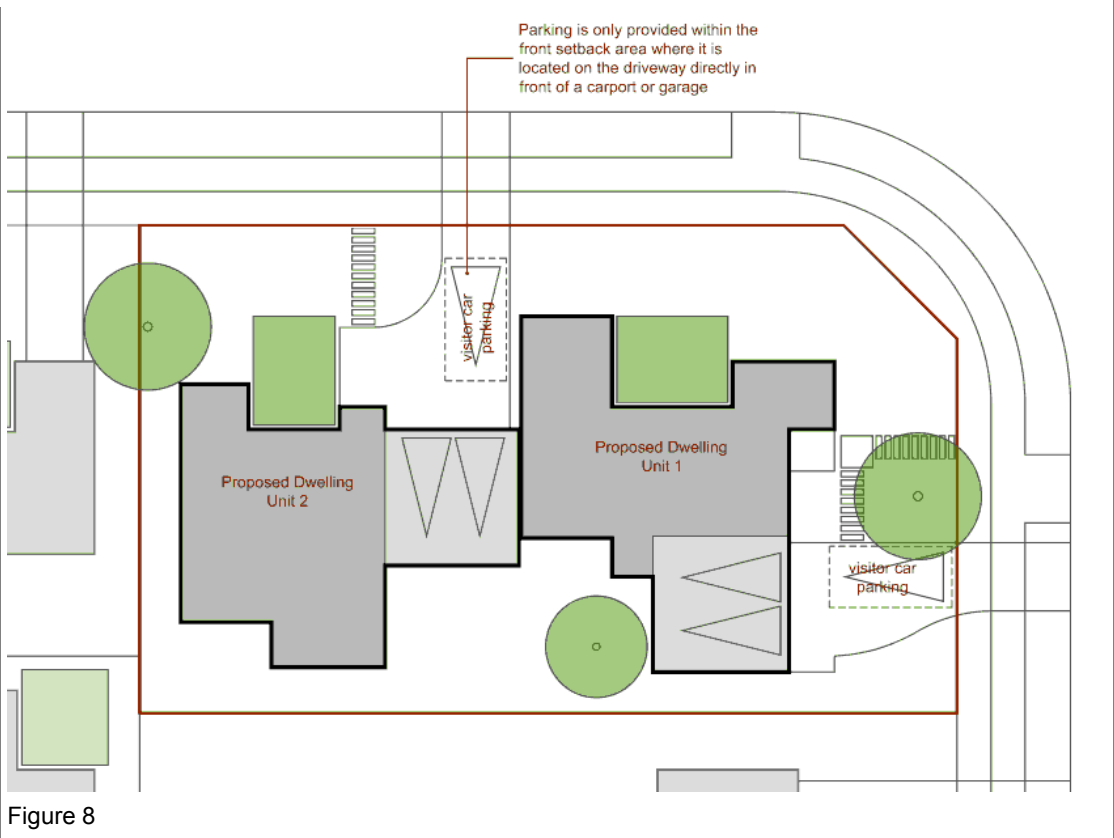


Figure 7

Performance outcomes	Acceptable outcomes
<p>PO₁₀ All car parking is designed to accommodate a standard car (B85 vehicle) and incorporates adequate manoeuvring area to parking spaces (including carports and garages).</p>	<p>AO_{10.1} Design of the site layout must ensure a B85 vehicle (as defined in AS 2890.1:2004 Parking facilities - Off-street car parking) is able to enter an enclosed garage or visitor car park in a single forward manoeuvre and exit in a single reverse manoeuvre.</p>
<p>PO₁₁ Development provides resident and visitor car parking which is integrated into the site and building design and:</p> <ul style="list-style-type: none"> (a) does not negatively impact the amenity of the site, adjoining sites or streetscape; (b) is not a prominent visual feature from the street or other public spaces; and (c) contributes to the establishment of a garden setting by avoiding large areas of visible hardstand. 	<p>AO_{11.1} Parking is only provided within the front setback area where it is:</p> <ul style="list-style-type: none"> (a) located on the driveway directly in front of a carport or garage; and (b) not covered. <p>Note: Where car parking is provided in accordance with AO11.1(a) the driveway should have a minimum length of 5 metres to avoid parked vehicles extending beyond the site boundary.</p> <p>AO_{11.2} Where car parking is provided below ground:</p> <ul style="list-style-type: none"> (a) Access ramps are not located within 6m of the street boundary and do not exceed an opening width of 6m; and (b) Entry to the site for pedestrians is provided separate from vehicle entries by way of a safe, well lit and clearly identifiable pathway or gatehouse; <p>AO_{11.3} All car parking is freely available for use by to the applicable occupants and visitors of the development.</p> <p>Note: See Figure 8.</p>

Performance outcomes	Acceptable outcomes
<p>Figure 8</p> 	<p>Parking is only provided within the front setback area where it is located on the driveway directly in front of a carport or garage</p>
<p>PO₁₂ Garages and carports (except those with frontage to a rear lane) do not dominate the street frontage.</p>	<p>AO_{12.1} Garages and/or carports facing a street make up no more than 30% of the width of the site.</p> <p>AO_{12.2} Garages and/or carports facing a street are setback a minimum of 1 metre behind the main face³⁶ of the dwelling.</p> <p>Note: See Figures 9 and 10.</p>

³⁶ The 'main face' of the dwelling is the closest non-garage/carport dwelling element to the front boundary (such as the main building façade, or a first-floor balcony that faces the street (if provided)).

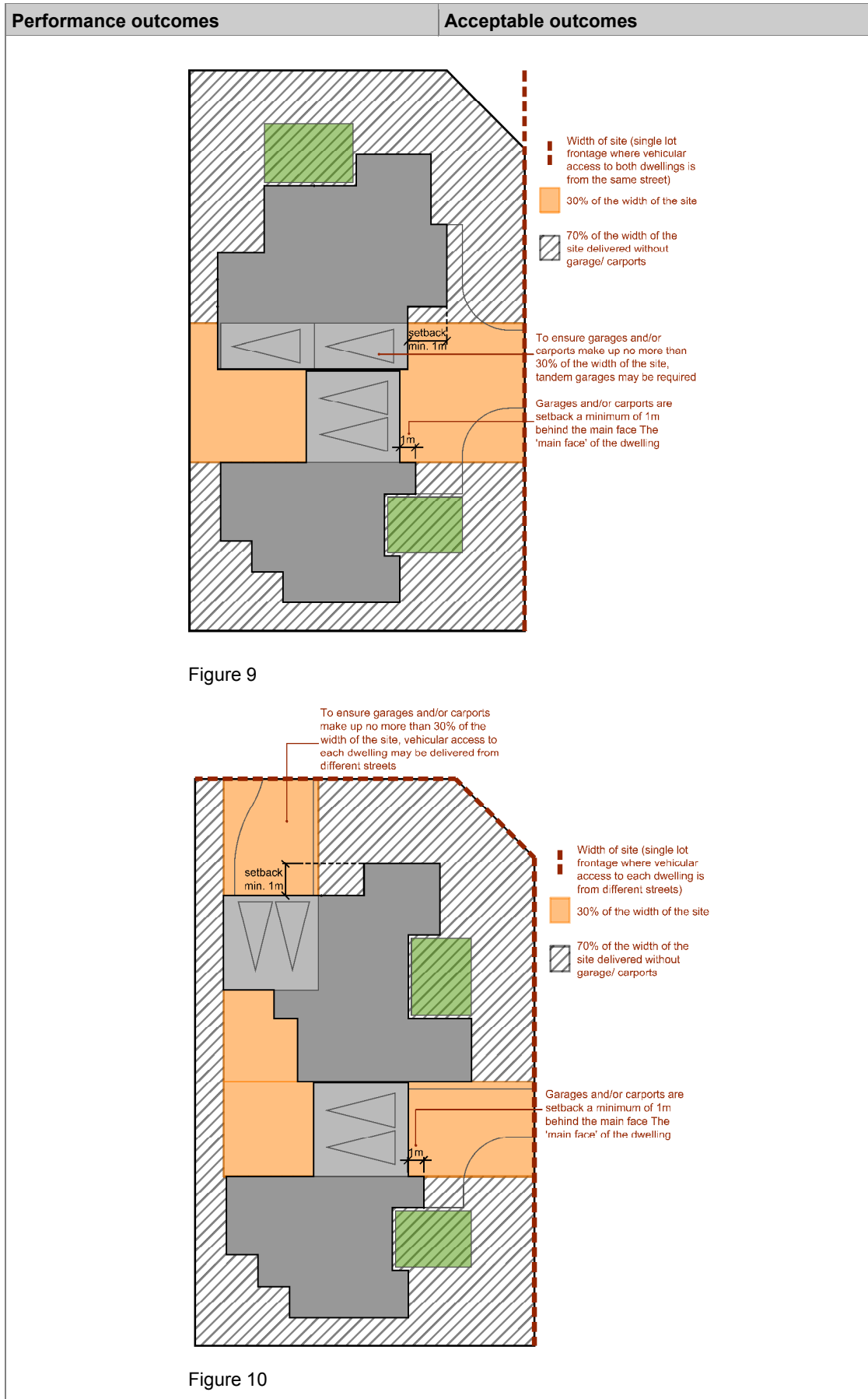


Figure 9

Figure 10

Performance outcomes	Acceptable outcomes
<p>Performance outcomes</p> <p>PO₁₃ Safe and equitable access for both pedestrians and vehicles is provided, to and from buildings and the street whilst minimising the extent and number of driveways.</p>	<p>Acceptable outcomes</p> <p>AO_{13.1} Where vehicular access to both dwellings is from the same street the driveway is shared and has a maximum crossover width of 5m.</p> <p>AO_{13.2} Where vehicular access to each dwelling is from different streets the driveway has a maximum crossover width of 3m.</p> <p>AO_{13.3} Where the site abuts a lane vehicle access is provided from the lane.</p> <p>AO_{13.4} Separate pedestrian access is provided to each dwelling, clearly distinguishable from the vehicle zone.</p> <p>Note: See Figure 11.</p>

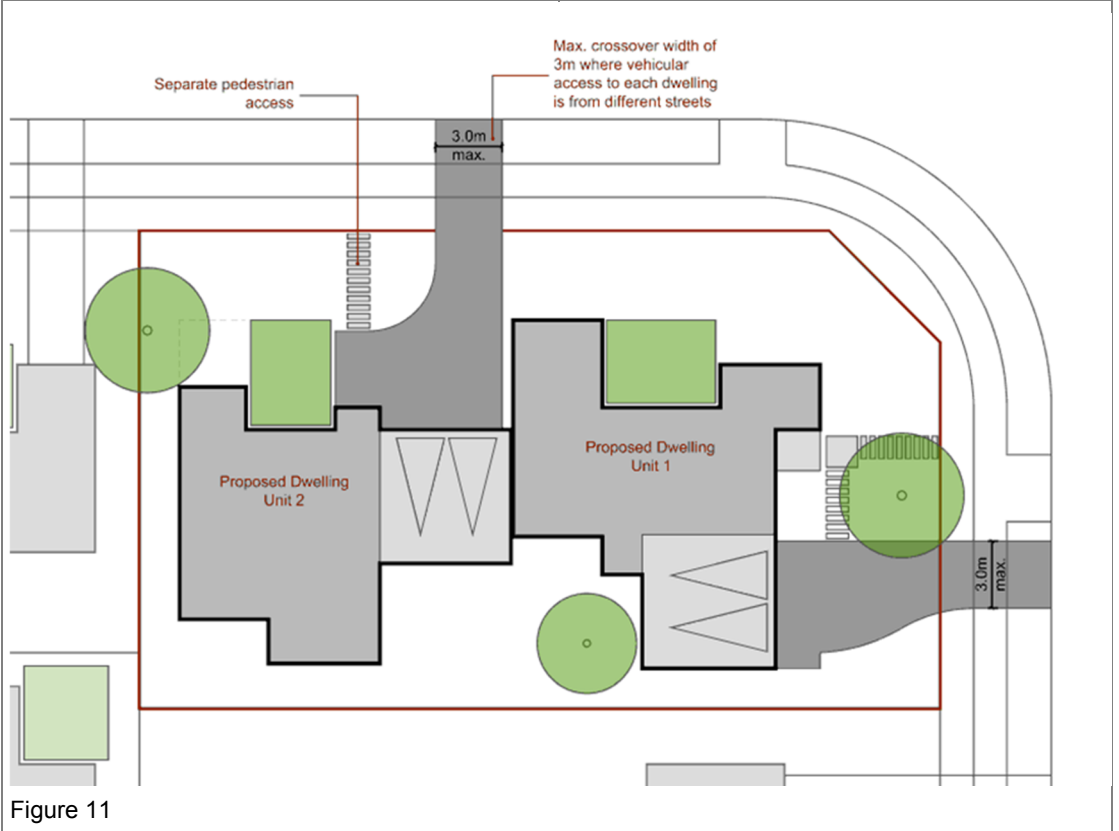


Figure 11

Performance outcomes	Acceptable outcomes
<p>PO₁₄ The privacy of residents of the development or adjoining premises is protected when they are inside a dwelling or in a private open space area.</p>	<p>AO_{14.1} Habitable room windows of a dwelling are separated a minimum of 9m from a habitable room window or private open space of another dwelling on the same or an adjoining site.</p> <p>OR</p> <p>AO_{14.2} Where there is a direct view within 9m into a habitable room or private open space of another dwelling on the same or an adjoining site</p> <ul style="list-style-type: none"> (a) the elements with the view such as windows, balconies, or terraces of a dwelling must be screened in accordance with AO14.3; or (b) the Windows have translucent glazing up to or sill heights of at least 1.5m from the internal floor level; or (c) a solid fence or masonry wall with a minimum height of 1.5m is positioned between the elements with the view. <p>AO_{14.3} Where screening is used, it:</p> <ul style="list-style-type: none"> (a) is a solid translucent screen or a louvre perforated panel, trellis or the like that has a maximum of 50% open to solid ratio; and (b) is a fixed, permanent element of a design that complements the style, detailing and materials of the development. <p>Note: See Figure 12.</p>

Performance outcomes	Acceptable outcomes
<p>Figure 12</p>	
<p>PO₁₅ The development is designed so that occupants are not adversely affected by adjoining non-residential uses.</p>	<p>AO_{15.1} A 1.8m high solid screen fence and 2m wide vegetated buffer is provided along any section of the site boundary that is common with vehicle movement and/or parking areas associated with a non-residential use on an adjoining site.</p>

Performance outcomes	Acceptable outcomes
<p>PO₁₆ Buildings are designed to a high aesthetic standard providing:</p> <ul style="list-style-type: none"> (a) prominent features towards the street frontage; (b) detailing and finishes appropriate to the scale, quality and character of the street and to help differentiate between dwellings (c) opportunities for informal surveillance of the street and other public spaces; (d) clear and visible entries; and elements that complement or enhance the character of the local neighbourhood. 	<p>AO_{16.1} Buildings:</p> <ul style="list-style-type: none"> (a) are oriented to and address the street frontage; (b) have front entries that provide full weather protection and where within 10m of any street, have clearly defined front entries that are visible from the street; (c) where within 10m of any street; have one or more habitable rooms facing the street boundary that have windows or doors with a minimum area of clear glazing of 0.25m² for each linear metre of street frontage; and (d) are designed to deliver depth in the façade facing the street or public space with a variation not less than 2m deep for a minimum 50% of the building width at ground level. <p>Note: Variation in building façade may be achieved through delivery of balconies, patios or building footprint articulation. The roofline over a balcony or patio may remain consistent with the dominant roof form.</p> <p>Note: See Figure 13.</p>

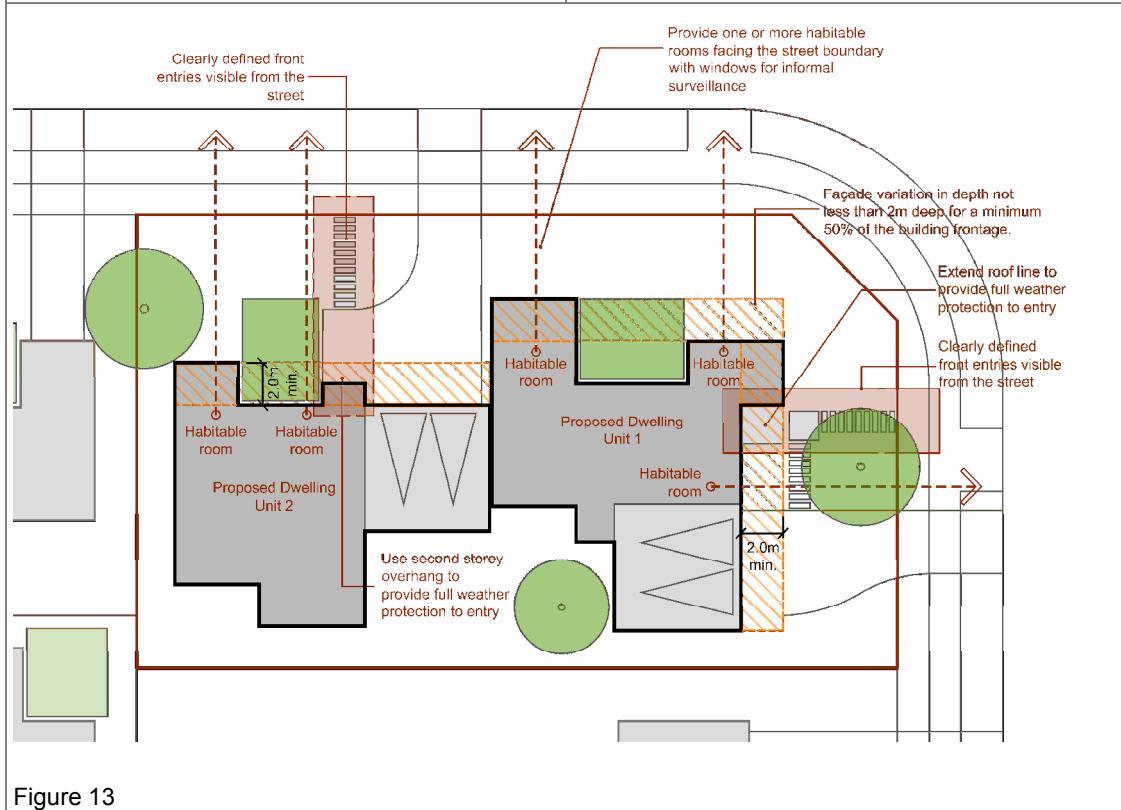


Figure 13

Performance outcomes	Acceptable outcomes
<p>PO₁₇ Development incorporates typical domestic detailing to achieve a residential scale living environment with aesthetic standards and amenity for occupants similar to those of single dwellings in the neighbourhood.</p>	<p>AO_{17.1} The maximum single wall length of a building is 32m with offsets of 600mm minimum provided every 7.5m;</p> <p>Note: Building walls separated by a distance of less than 10% of their combined length are considered as one wall.</p> <p>AO_{17.2} Building bulk is minimised through articulation and other measures, including the provision of at least one (1) element from at least three (3) of the following element groups:</p> <ul style="list-style-type: none"> (a) verandahs, porches, pergolas or balconies; (b) roof overhangs (minimum 600mm deep); (c) window hoods/screens; (d) awning and shade structures; or (e) 600mm vertical gutter offset to create roof articulation. <p>Note: See Figure 14.</p>

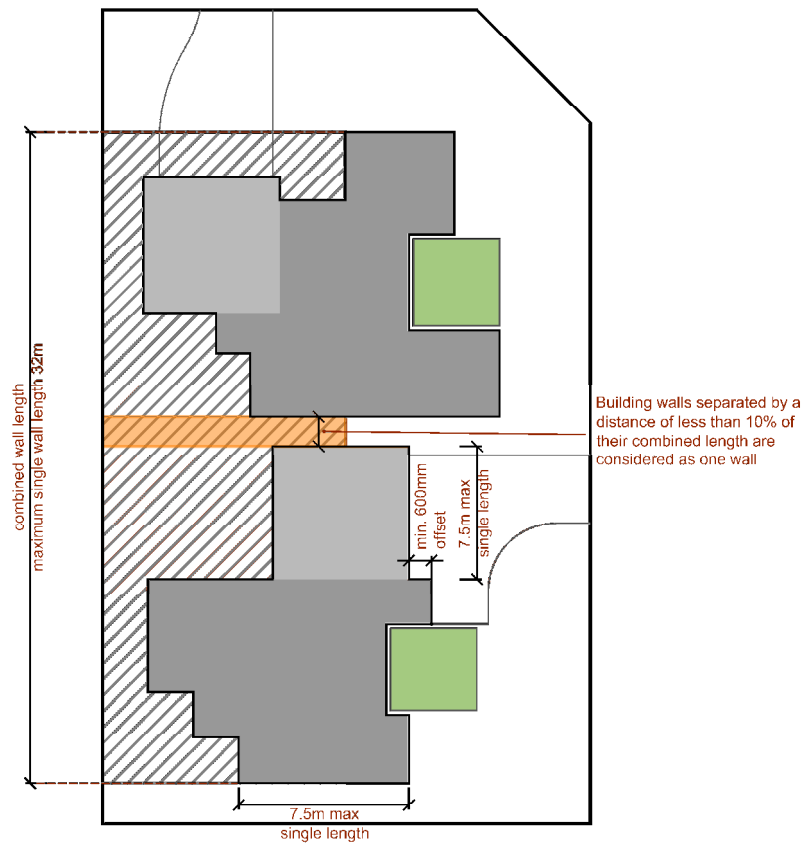


Figure 14

Performance outcomes	Acceptable outcomes
PO ₁₈ Development provides landscaping that contributes to the landscape character, shade and the micro-climate of the neighbourhood and site through the retention or provision of at least one canopy tree.	AO _{18.1} One (1) tree capable of achieving a height of at least six (6) metres and canopy spread of at least five (5) metres at maturity is provided.
PO ₁₉ The treatment of fencing and retaining walls in all situations reinforces the high quality, amenity and safety of the development.	AO _{19.1} The maximum total height of a combined fence and retaining wall is 2.1m, as measured from the base of the retaining wall to the top of the fence. AO _{19.2} Where a combined fence and retaining wall is located on the front boundary, the fence has a minimum transparency of 30% when viewed from in front of the fence (at 90 degree angle to the fence). AO _{19.3} Retaining walls and fences are constructed of high quality materials and contribute to residential amenity. AO _{19.4} Any fence on the front boundary has a minimum 30% transparency when viewed from in front of the fence (at 90 degree angle to the fence). Note: Where retaining walls are set off the property boundary by a minimum of 600mm, they are not considered to be combined with the fencing. (See Figure 15.)

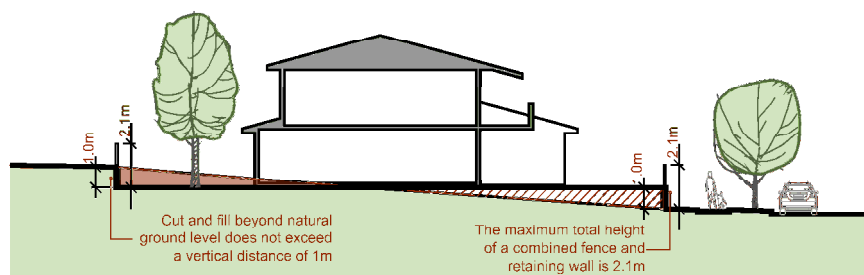


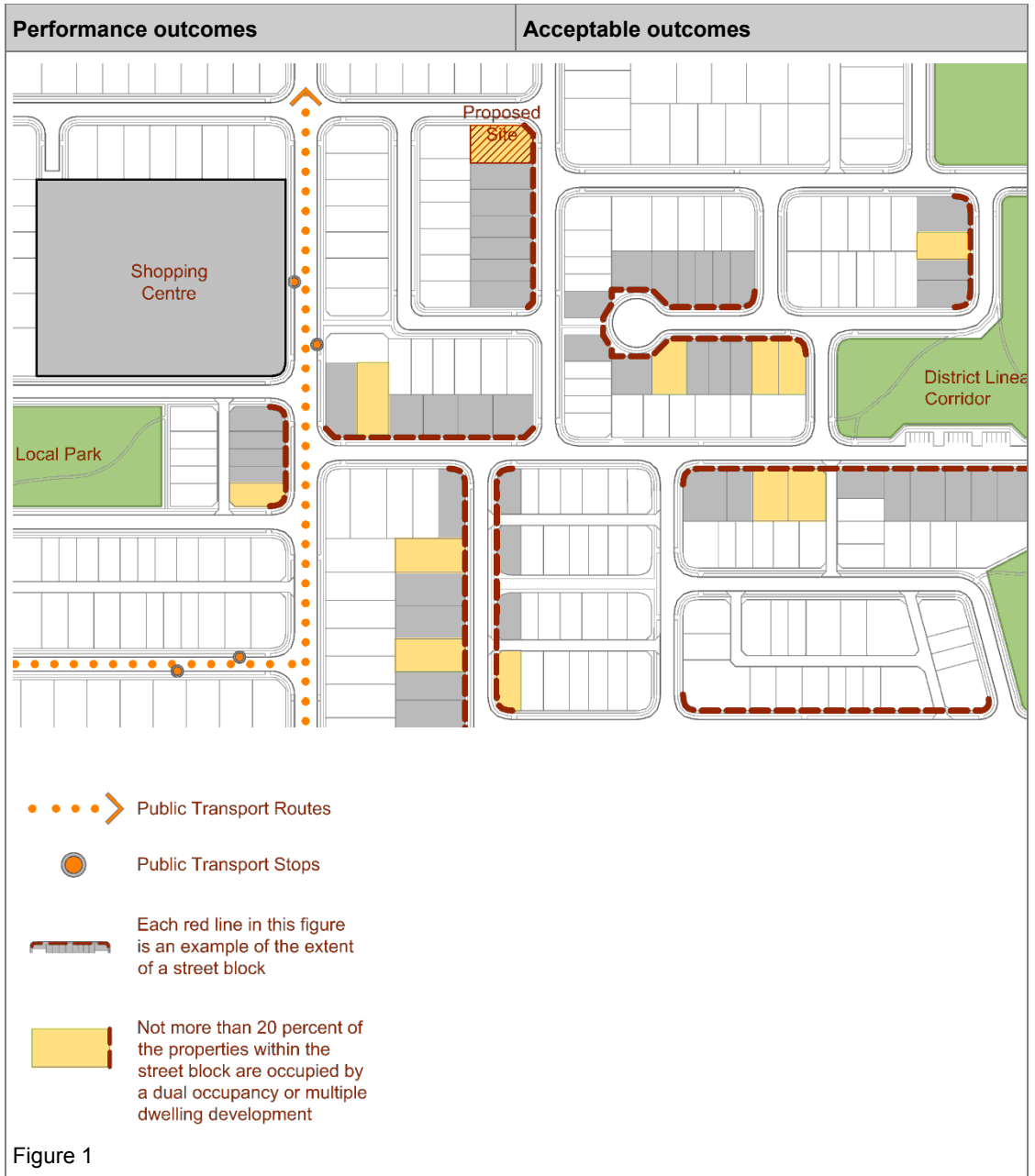
Figure 15

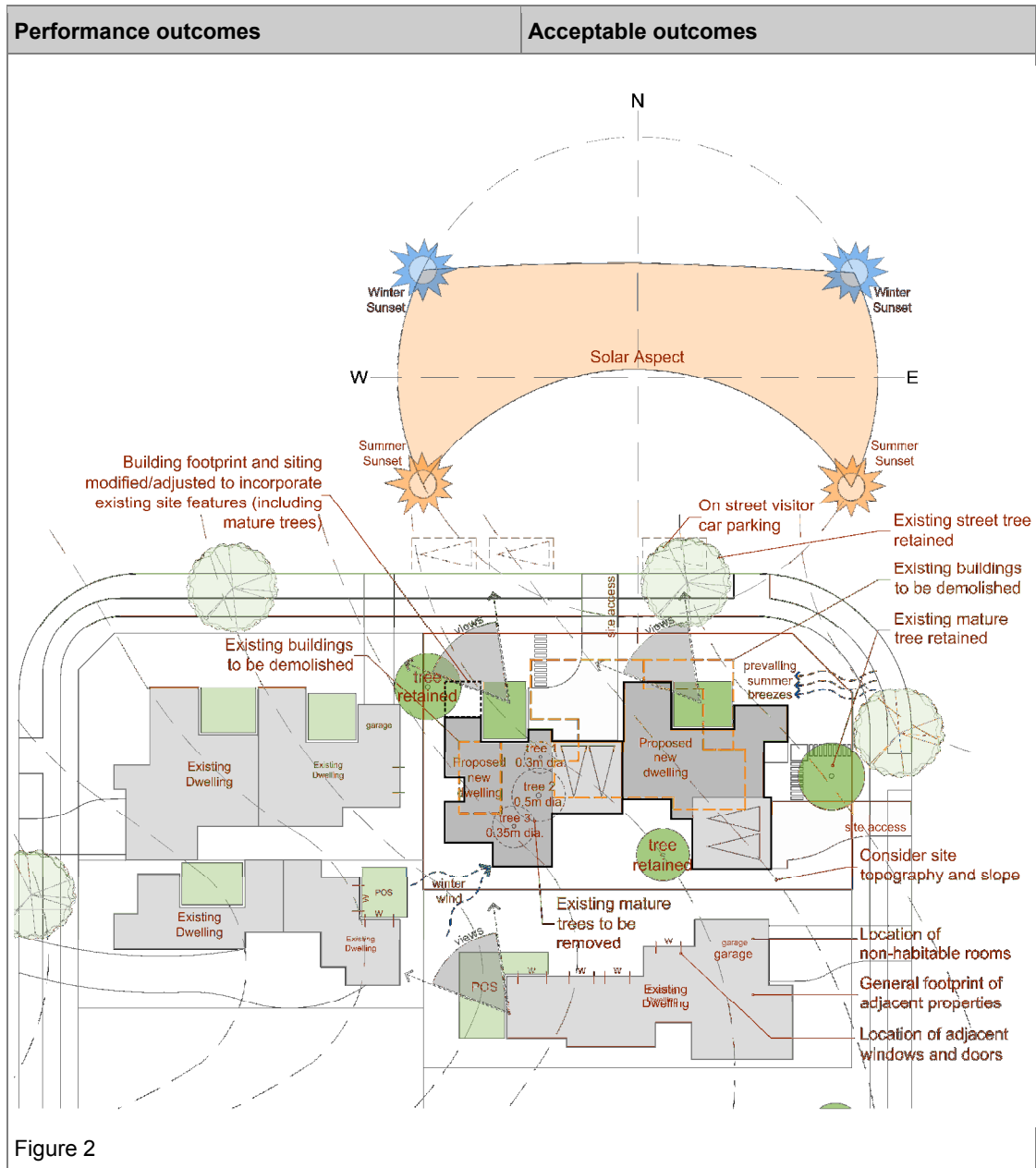
Performance outcomes	Acceptable outcomes
<p>PO₂₀ Front fencing contributes to privacy, screening, security, and street character while maintaining a visual relationship between dwellings and public spaces.</p>	<p>AO_{20.1} Fences located on a front property boundary or a common boundary with an adjacent park or within the front setback area:</p> <ul style="list-style-type: none"> (a) have a maximum height of 1.2 metres; or (b) have a maximum height of 1.5 metres and a minimum transparency of 30% when viewed from in front of the fence (at 90 degree angle to the fence). <p>Note: In instances where the fence is located in conjunction with a retaining wall refer PO₁₉.</p>
Performance outcomes	Acceptable outcomes
<p>PO₂₁ Stormwater discharge from the site is to a lawful point of discharge as defined in the Queensland Urban Drainage Manual (QUDM), without the use of pumped or charged pipe systems, and not to private land other than to an easement for stormwater purposes befitting the site and allowing discharge to a lawful point of discharge in land over which Council has tenure or control.</p>	<p>AO_{21.1} The site:</p> <ul style="list-style-type: none"> (a) has a natural surface with an elevation that is higher than the abutting road and enables stormwater to drain gravitationally to the abutting road via subsurface pipes; or (b) has a natural surface with an elevation that is higher than Council's stormwater drainage network in the abutting road and enables stormwater to drain gravitationally to the stormwater drainage network in the abutting road via subsurface pipes; or (c) has lawful access to an inter allotment drainage network with available capacity to meet the requirements of the development.

Performance outcomes	Acceptable outcomes
Where a Dwelling House on a Hatchet Lot	
<p>PO₂₂ The configuration and finish of the access strip/easement:</p> <ul style="list-style-type: none"> (a) enhances the streetscape qualities of the area and any adjoining premises; (b) enhances the residential amenity of the area; and (c) contributes to a high quality residential outcome for the site, by the incorporation of landscaping, provision for adequate setbacks and use of high quality materials. 	<p>AO_{22.1} Any area of hardstand, including the driveway, within the access strip / easement:</p> <ul style="list-style-type: none"> (a) has a maximum width of 3m; and (b) is sealed with a rigid pavement. <p>AO_{22.2} The access strip/easement has a landscaped area/s with a combined minimum width of 2m for its full length.</p> <p>AO_{22.3} The driveway landscaping must continue for the full length of the driveway for a minimum width of 0.5m.</p> <p>AO_{22.4} Any fence on the inside boundary of the access strip / easement has a maximum height of one (1) metre for the first six (6) metres from the front boundary.</p>
<p>PO₂₃ The dwelling does not result in a reduction of amenity, privacy, or loss of solar access for any adjoining property.</p>	<p>AO_{23.1} The dwelling does not exceed a maximum height of 2 storeys or 8.5m above ground level.</p> <p>AO_{23.2} The dwelling is setback a minimum of 2m from all boundaries.</p> <p>AO_{23.3} North-facing windows to habitable rooms and/or the private outdoor space of an adjoining premises does not have sunlight reduced to less than 3 hours of solar gain between 9 a.m. and 3 p.m. on 21 June.</p>
<p>PO₂₄ Stormwater discharge from the site is to a lawful point of discharge as defined in the Queensland Urban Drainage Manual (QUDM), without the use of pumped or charged pipe systems, and not to private land other than to an easement for stormwater purposes befitting the site and allowing discharge to a lawful point of discharge in land over which Council has tenure or control.</p> <p>Note: Land over which Council has tenure or control does not include Council's open space network.</p>	<p>AO_{24.1} The site:</p> <ul style="list-style-type: none"> (a) has a natural surface with an elevation that is higher than the abutting road and enables stormwater to drain gravitationally to the abutting road via subsurface pipes; or (b) has a natural surface with an elevation that is higher than Council's stormwater drainage network in the abutting road and enables stormwater to drain gravitationally to the stormwater drainage network in the abutting road via subsurface pipes; or (c) has lawful access to an inter allotment drainage network with available capacity to meet the requirements of the development.

Table 9.3.7:2 – Medium Density Residential Code – Assessment benchmarks for assessable development

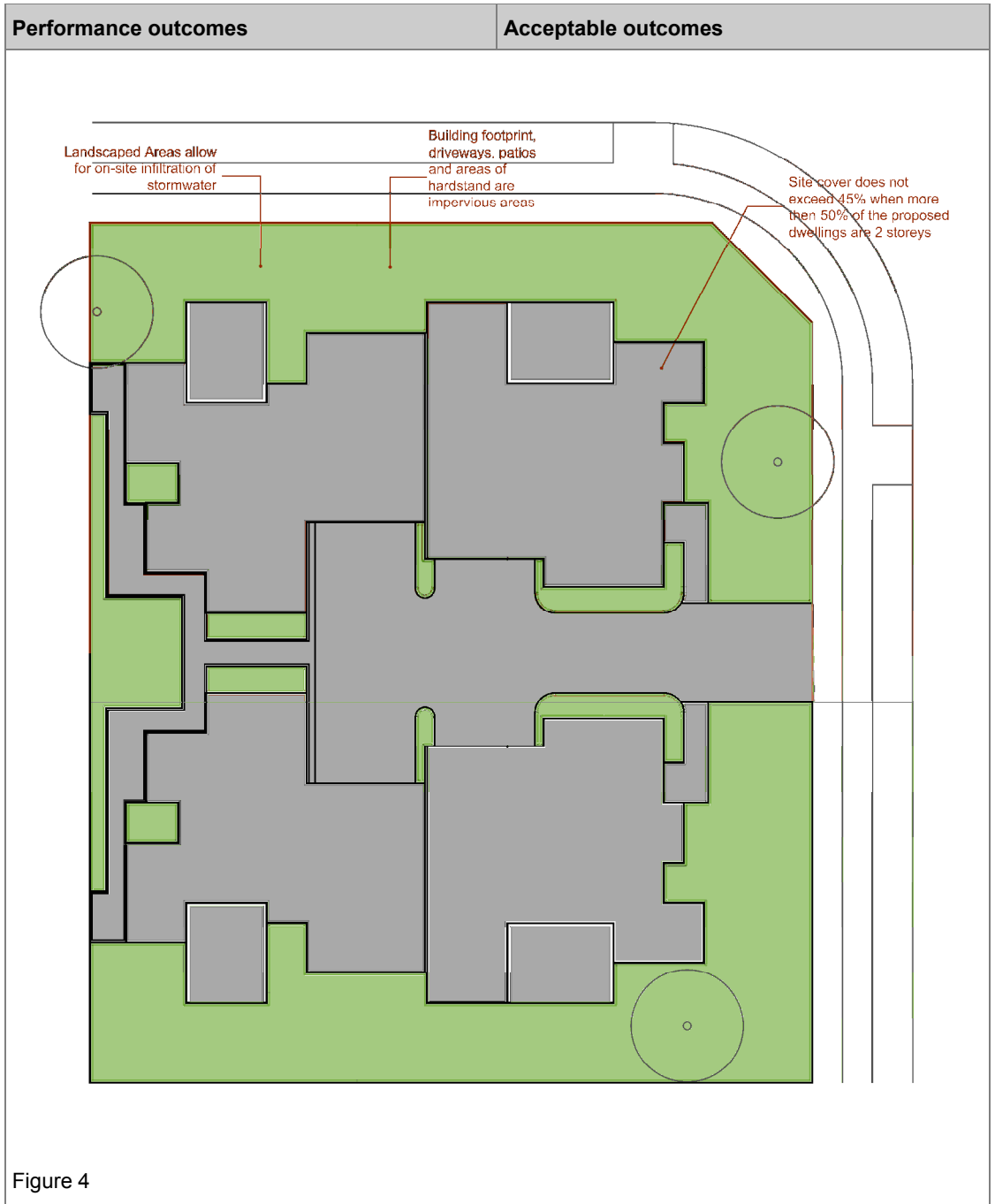
Performance outcomes	Acceptable outcomes
<p>PO₁ The development is designed in a manner that responds to the sites opportunities and constraints and to the broader urban and streetscape contexts.</p> <p>Note: Development should be designed and documented by a suitably qualified professional (i.e. architect or building designer). Details of professional qualifications should be noted on drawings submitted with any development application</p>	<p>AO_{1.1} The design of the development considers and responds to:</p> <p>(a) Site specific qualities including:</p> <ul style="list-style-type: none"> i) site topography and slope (contours at a minimum of 1m intervals); ii) Views iii) solar aspect and access; iv) prevailing breezes v) existing buildings on the site; vi) site access vii) services viii) identification of buildings to be demolished; ix) existing vegetation (locations to be surveyed and the diameter of the trunk at 1m above ground level shown. On highly buttressed trees the extent of buttressed roots is to be shown); x) proposed position of new buildings overlaid <p>(b) Nearby features including:</p> <ul style="list-style-type: none"> i) opportunities for on street visitor car parking; ii) buildings on adjoining land iii) important views from neighbouring properties iv) features and character of adjoining land and buildings including doors & windows v) street fixtures; <p>(c) Local qualities and amenities including:</p> <ul style="list-style-type: none"> i) available public transport; and ii) nearby amenities such as parks, shops. <p>AO_{1.2} Site design retains all existing street trees.</p> <p>Note: See Figures 1 and 2.</p>



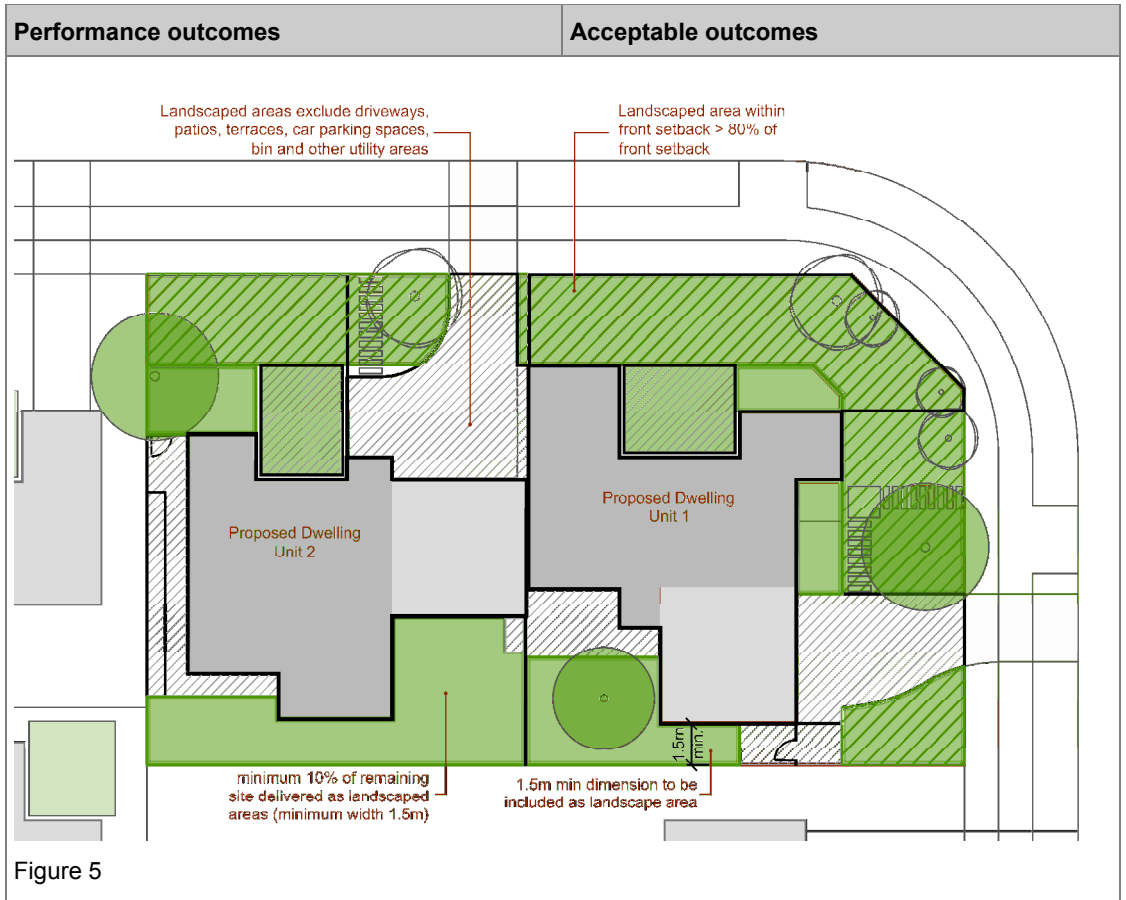


Performance outcomes	Acceptable outcomes
<p>PO₂ Development responds to the slope of the land in the siting, design and form of buildings and structures to minimise requirements for cut and fill.</p>	<p>AO_{2.1} Cut and fill beyond natural ground level does not exceed a vertical distance of 1m, unless contained within building walls and in accordance with the requirements outlined in SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure. The extent of cut and fill must be shown on the proposed site plan and elevations.</p> <p>AO_{2.2} Batters and earth-retaining structures are constructed in accordance with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p> <p>Note: See Figure 3.</p>
<p>Cut and fill beyond natural ground level does not exceed a vertical distance of 1m</p> <p>The maximum total height of a combined fence and retaining wall is 2.1m</p>	
<p>Figure 3</p>	
<p>PO₃ Development is designed to facilitate the retention of any existing street tree adjacent to the site.</p>	<p>AO_{3.1} Development does not compromise or require the removal of any street tree.</p>

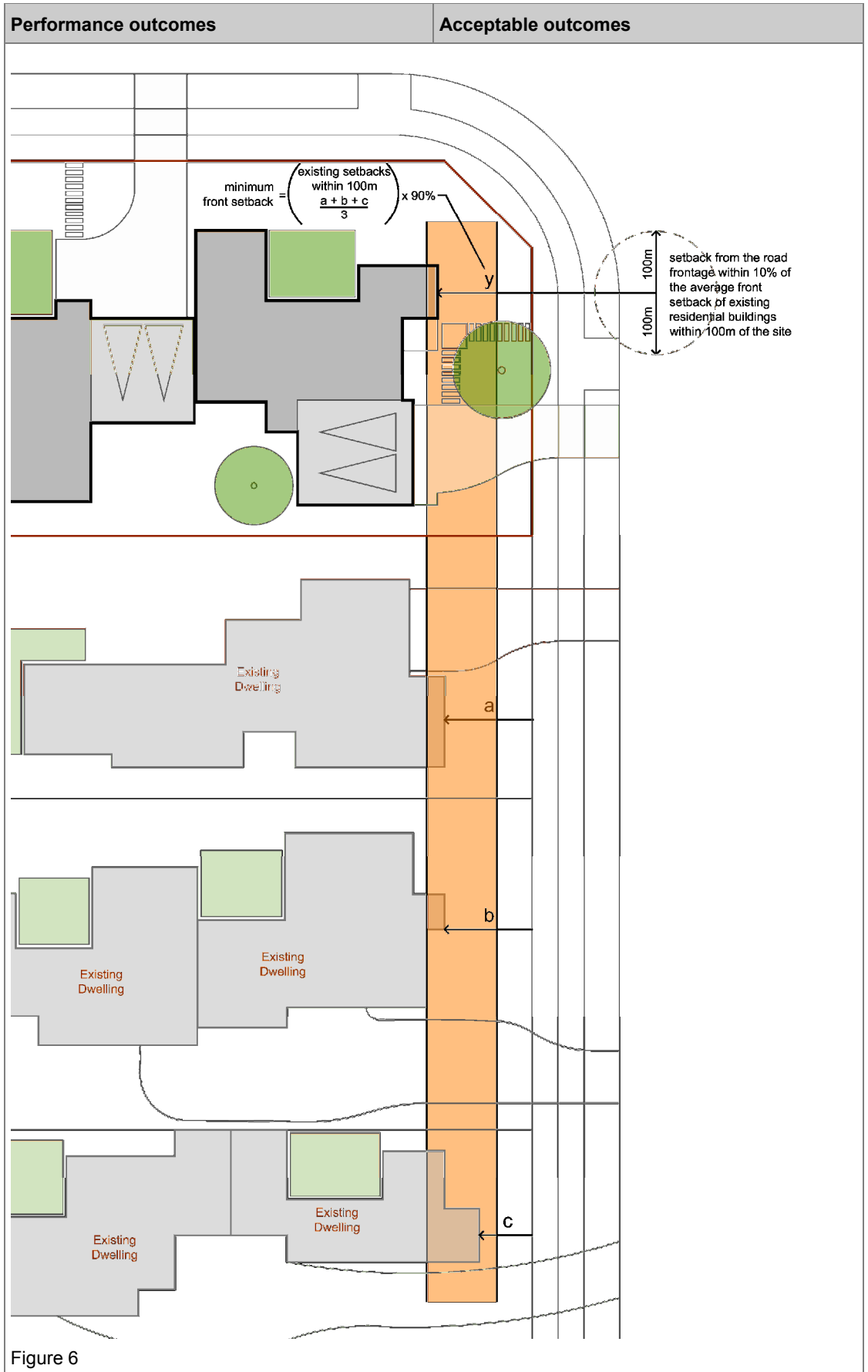
Performance outcomes	Acceptable outcomes																						
<p>PO4 Development:</p> <ul style="list-style-type: none"> (a) provides for the on-site infiltration of stormwater and minimises the additional burden on drainage infrastructure; (b) minimises the visual impact of hard surface areas; and (c) respects the existing or preferred neighbourhood character and responds to the features of the site. 	<p>AO4.1 The impervious site cover does not exceed Table 1:</p> <table border="1" data-bbox="815 448 1353 864"> <thead> <tr> <th colspan="2" data-bbox="815 448 1353 488">Table 1</th> </tr> <tr> <th data-bbox="815 488 1177 580">Average building height</th> <th data-bbox="1177 488 1353 580">Maximum impervious site cover</th> </tr> </thead> <tbody> <tr> <td data-bbox="815 580 1177 672">If more than 50% of the proposed dwellings are 1 storey</td> <td data-bbox="1177 580 1353 672">70%</td> </tr> <tr> <td data-bbox="815 672 1177 763">If more than 50% of the proposed dwellings are 2 storeys</td> <td data-bbox="1177 672 1353 763">65%</td> </tr> <tr> <td data-bbox="815 763 1177 864">If more than 50% of the proposed dwellings are 3 or more storeys</td> <td data-bbox="1177 763 1353 864">60%</td> </tr> </tbody> </table> <p>AO4.2 No more than 50% of the front setbacks area is impervious.</p> <p>AO4.3 Site cover does not exceed rates specified in Table 2.</p> <table border="1" data-bbox="815 1081 1353 1568"> <thead> <tr> <th colspan="2" data-bbox="815 1081 1353 1122">Table 2</th> </tr> <tr> <th data-bbox="815 1122 1139 1189">Dwelling Height</th> <th data-bbox="1139 1122 1353 1189">Maximum site cover</th> </tr> </thead> <tbody> <tr> <td data-bbox="815 1189 1139 1281">If more than 50% of proposed dwellings are 1 storey</td> <td data-bbox="1139 1189 1353 1281">50%</td> </tr> <tr> <td data-bbox="815 1281 1139 1373">If more than 50% of proposed dwellings are 2 storeys</td> <td data-bbox="1139 1281 1353 1373">45%</td> </tr> <tr> <td data-bbox="815 1373 1139 1464">If more than 50% of proposed dwellings are 3 storeys</td> <td data-bbox="1139 1373 1353 1464">40%</td> </tr> <tr> <td data-bbox="815 1464 1139 1568">If more than 50% of proposed dwellings are 4 storeys or more</td> <td data-bbox="1139 1464 1353 1568">35%</td> </tr> </tbody> </table> <p>Note: See Figure 4.</p>	Table 1		Average building height	Maximum impervious site cover	If more than 50% of the proposed dwellings are 1 storey	70%	If more than 50% of the proposed dwellings are 2 storeys	65%	If more than 50% of the proposed dwellings are 3 or more storeys	60%	Table 2		Dwelling Height	Maximum site cover	If more than 50% of proposed dwellings are 1 storey	50%	If more than 50% of proposed dwellings are 2 storeys	45%	If more than 50% of proposed dwellings are 3 storeys	40%	If more than 50% of proposed dwellings are 4 storeys or more	35%
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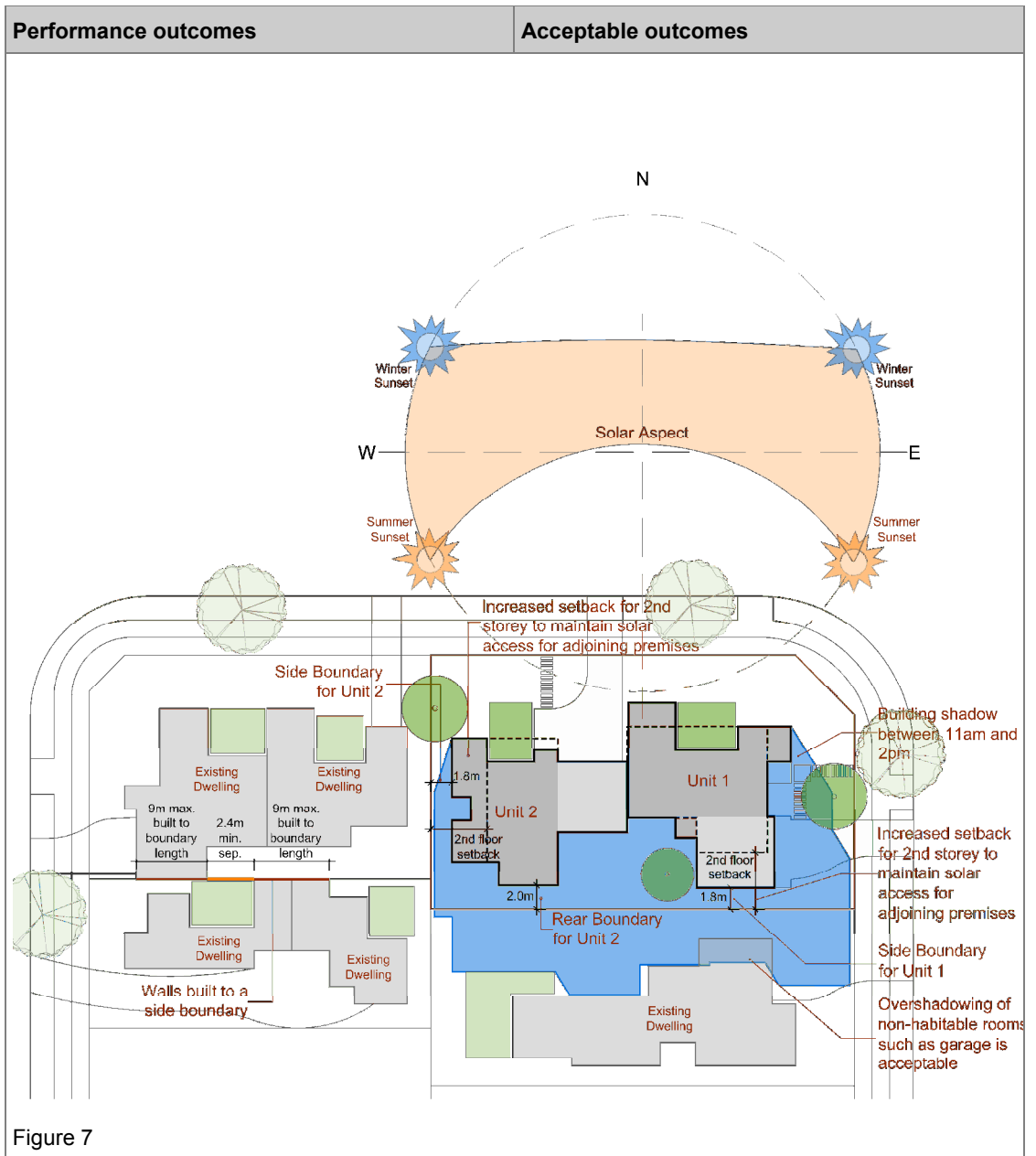
Performance outcomes	Acceptable outcomes																		
<p>PO₅ Areas of hardstand required for parking and pathways:</p> <ul style="list-style-type: none"> (a) are minimised, (b) Incorporate generous landscaping: <ul style="list-style-type: none"> (i) to promote a garden streetscape character, and (ii) to minimise visual impacts of views to hardstand areas for occupants and the public, particularly in the front garden. 	<p>AO_{5.1} Landscaped areas are provided in accordance with Table 3:</p> <table border="1" data-bbox="815 477 1342 1205"> <thead> <tr> <th colspan="3" data-bbox="815 477 1342 526">Table 3</th> </tr> <tr> <th data-bbox="815 526 1002 575">Building height</th> <th colspan="2" data-bbox="1002 526 1342 575">Minimum landscaped area</th> </tr> <tr> <td data-bbox="815 575 1002 965"></td> <td data-bbox="1002 575 1177 965">Where 80% or more of the front setback is landscaped area additional landscaping for the balance of the site must be a minimum of:</td> <td data-bbox="1177 575 1342 965">Where less than 80% of the front setback area is landscaped additional landscaping for the balance of the site must be a minimum of:</td> </tr> </thead> <tbody> <tr> <td data-bbox="815 965 1002 1043">1-2 storeys</td> <td data-bbox="1002 965 1177 1043">10% site area</td> <td data-bbox="1177 965 1342 1043">15% site area</td> </tr> <tr> <td data-bbox="815 1043 1002 1122">3 storeys</td> <td data-bbox="1002 1043 1177 1122">12.5% site area</td> <td data-bbox="1177 1043 1342 1122">17.5% site area</td> </tr> <tr> <td data-bbox="815 1122 1002 1205">4+ storeys</td> <td data-bbox="1002 1122 1177 1205">15% site area</td> <td data-bbox="1177 1122 1342 1205">20% site area</td> </tr> </tbody> </table> <p>Note: Landscaped areas included in the calculations consist of garden beds and lawn areas throughout the site with a width of no less than 1.5m;</p> <p>Excludes all paved and other impervious areas such as driveways, patios, terraces, car parking spaces and bin and other utility areas.</p> <p>See Figure 5.</p>	Table 3			Building height	Minimum landscaped area			Where 80% or more of the front setback is landscaped area additional landscaping for the balance of the site must be a minimum of:	Where less than 80% of the front setback area is landscaped additional landscaping for the balance of the site must be a minimum of:	1-2 storeys	10% site area	15% site area	3 storeys	12.5% site area	17.5% site area	4+ storeys	15% site area	20% site area
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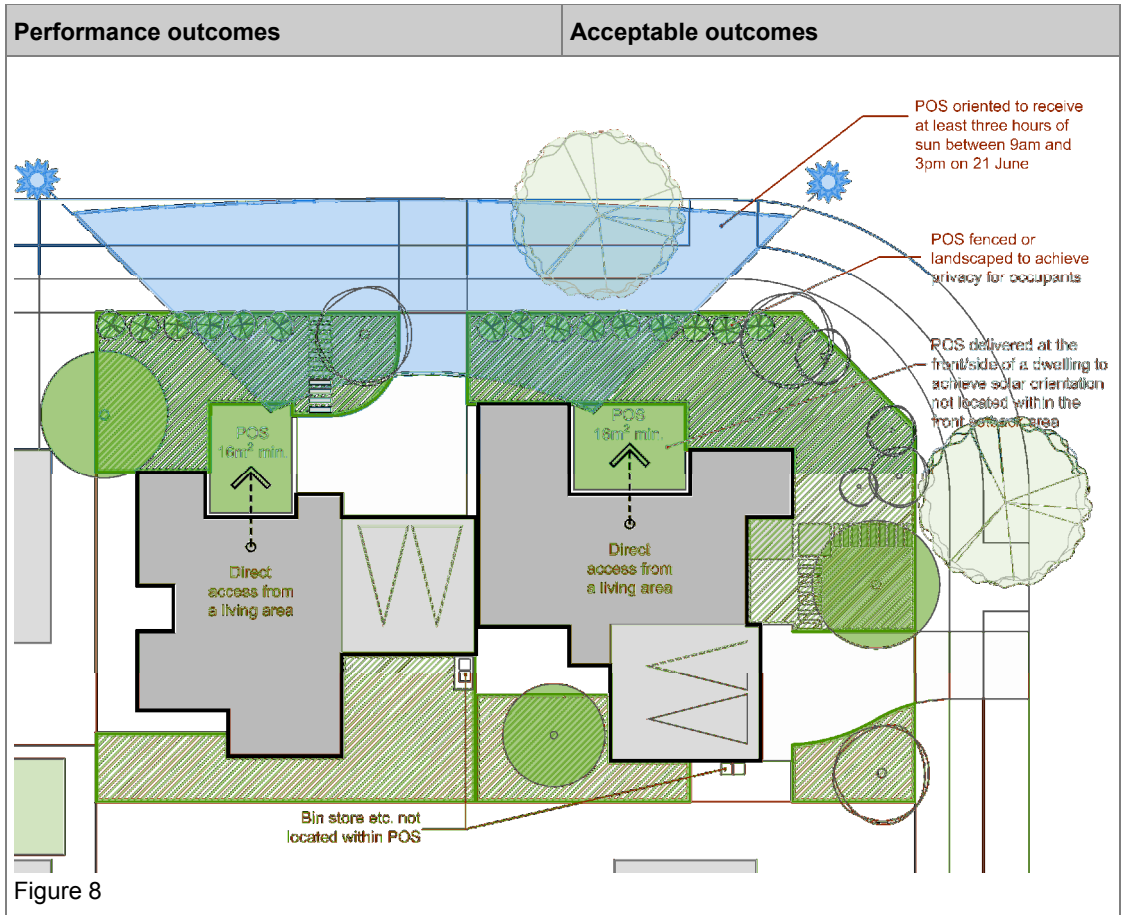
Performance outcomes	Acceptable outcomes										
<p>PO₆ The front building setback is consistent with the prevailing front setbacks of other residential buildings in the street.</p> <p>Note: The prevailing setback of the street is determined by the setbacks of the residential buildings on any lot along the road within 100m of the site.</p>	<p>AO_{6.1} Buildings are setback from the road frontage:</p> <p>(a) within 10% of the average front setback of existing residential buildings within 100m of the site; or</p> <p>(b) where there is no adjoining buildings the front setback is provided in accordance with Table 4.</p> <table border="1" data-bbox="807 667 1348 1079"> <thead> <tr> <th colspan="2" data-bbox="807 667 1348 719">Table 4</th> </tr> <tr> <th data-bbox="807 719 1099 770">Building element</th> <th data-bbox="1099 719 1348 770">Minimum setback</th> </tr> </thead> <tbody> <tr> <td data-bbox="807 770 1099 851">Solid building wall (other than a garage)</td> <td data-bbox="1099 770 1348 851">4.0m</td> </tr> <tr> <td data-bbox="807 851 1099 943">Solid building wall (where for a garage)</td> <td data-bbox="1099 851 1348 943">5.5m</td> </tr> <tr> <td data-bbox="807 943 1099 1079">Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)</td> <td data-bbox="1099 943 1348 1079">3.5m (or 3m where secondary road frontage)</td> </tr> </tbody> </table> <p>Note: See Figure 6.</p>	Table 4		Building element	Minimum setback	Solid building wall (other than a garage)	4.0m	Solid building wall (where for a garage)	5.5m	Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)
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Performance outcomes	Acceptable outcomes
<p>PO7 Side and rear building setbacks:</p> <ul style="list-style-type: none"> (a) are appropriate to the scale of the development and the intended character of the zone and/or precinct or local plan in which the site is located; (b) provide for adequate daylight for habitable rooms and open space areas for buildings on and adjoining the site; and (c) are sufficient to minimise overshadowing and overlooking of adjoining premises. 	<p>In partial fulfilment of the performance outcome</p> <p>AO7.1 Any part of a building built to a side boundary:</p> <ul style="list-style-type: none"> (a) must not exceed a maximum height of 3.5m (b) must not exceed a maximum length of 9m; (c) must be a minimum distance of 2.4m from any other wall built to the side boundary (whether on the site or an adjoining site) or be joined to another built to boundary wall if on an adjoining site; and (d) must not exceed a maximum total length of 50% of the side boundary. <p>OR</p> <p>AO7.2 Buildings are set back from side boundaries in accordance with the following:</p> <ul style="list-style-type: none"> (a) For lots with frontages less than 20m: <ul style="list-style-type: none"> (i) 1.2m for any part of the building up to 3.5m high; and (ii) 2m for any part of the building above 3.5m high. (b) For lots with frontages greater than 20m: <ul style="list-style-type: none"> (i) 1.8m for any part of the building up to 3.5m high; and (ii) 2.4m for any part of the building above 3.5m high. <p>AO7.3 Buildings are set back from the rear boundary a minimum of 2m.</p> <p>AO7.4 Development ensures that solar access to habitable rooms and private open space of adjoining premises: -</p> <ul style="list-style-type: none"> (a) achieves a minimum of 3 hours of sunlight between 9am and 3pm on June 21; or (b) is not further reduced where existing solar access is less than that specified in (a). <p>Note: See figure 7.</p>

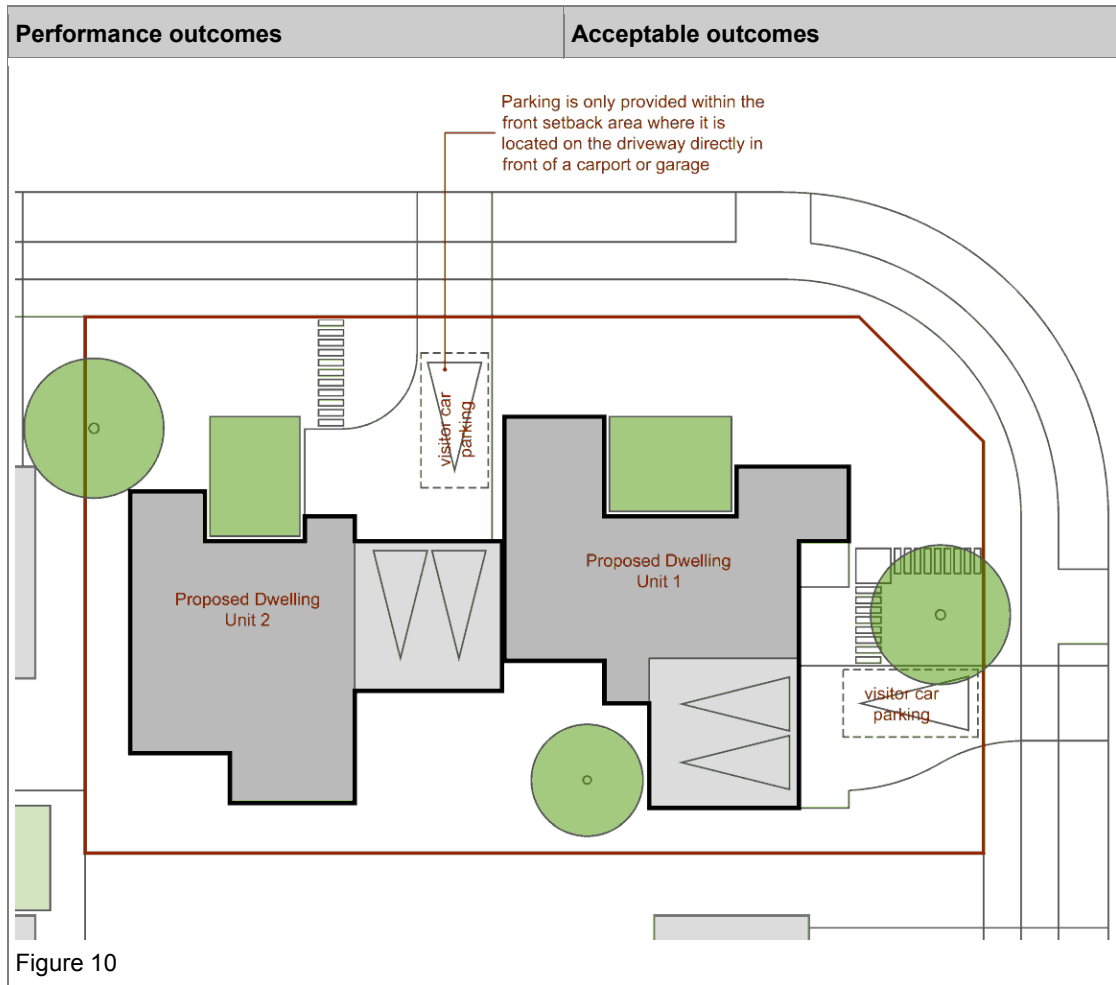


<p>PO₈ Development provides adequate and suitable communal and private open space to meet the needs of occupants for privacy, relaxation and entertainment and accommodate visitors.</p>	<p>AO_{8.1} Development provides communal and private open space in accordance with Table 5.</p> <table border="1" style="width: 100%; text-align: center;"> <thead> <tr> <th colspan="4">Table 5</th> </tr> <tr> <th>No. of Dwellings</th> <th>Min. Communal Open Space per Dwelling</th> <th>Min. Ground Floor Private Open Space per Dwelling</th> <th>Min. Private Open Space above Ground Floor per Dwelling</th> </tr> </thead> <tbody> <tr> <td>1-10</td> <td>0m²</td> <td>16m²</td> <td>8m²</td> </tr> <tr> <td>11-15</td> <td>20m²</td> <td>16m²</td> <td>8m²</td> </tr> <tr> <td>16+</td> <td>25m²</td> <td>16m²</td> <td>8m²</td> </tr> </tbody> </table> <p>AO_{8.2} Communal and private open space has a minimum dimension in accordance with Table 6.</p> <table border="1" style="width: 100%; text-align: center;"> <thead> <tr> <th colspan="3">Table 6</th> </tr> <tr> <th>Type</th> <th>Area</th> <th>Minimum Dimension</th> </tr> </thead> <tbody> <tr> <td colspan="3">Private Open Space</td> </tr> <tr> <td>Ground Floor</td> <td>16m²</td> <td>4m*</td> </tr> <tr> <td>First Floor</td> <td>8m²</td> <td>2.7m*</td> </tr> <tr> <td colspan="3">Communal Open Space</td> </tr> <tr> <td rowspan="2">All</td> <td><100m²</td> <td>5m</td> </tr> <tr> <td>100m²+</td> <td>Length to breadth ratio of 2.5:1</td> </tr> </tbody> </table> <p>*Min length required for both length and width.</p> <p>AO_{8.3} Private open space is:</p> <ol style="list-style-type: none"> a) is oriented to receive at least three hours of sun between 9am and 3pm on 21 June. b) directly accessible from a living area or kitchen; c) fenced or landscaped to achieve privacy for occupants; d) clear of bins, clothes lines, hot water systems, air conditioning units, above ground water tanks and associated infrastructure and other forms of ancillary equipment; and e) not located within the front setback area. <p>Note: See Figure 8.</p>	Table 5				No. of Dwellings	Min. Communal Open Space per Dwelling	Min. Ground Floor Private Open Space per Dwelling	Min. Private Open Space above Ground Floor per Dwelling	1-10	0m ²	16m ²	8m ²	11-15	20m ²	16m ²	8m ²	16+	25m ²	16m ²	8m ²	Table 6			Type	Area	Minimum Dimension	Private Open Space			Ground Floor	16m ²	4m*	First Floor	8m ²	2.7m*	Communal Open Space			All	<100m ²	5m	100m ² +	Length to breadth ratio of 2.5:1
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	100m ² +	Length to breadth ratio of 2.5:1																																										



Performance outcomes	Acceptable outcomes																
<p>PO₉ All car parking is designed to accommodate a standard car (B85 vehicle for occupant car parking and B99 vehicle for visitor car parking) and:</p> <ul style="list-style-type: none"> (a) is clearly identifiable and of adequate dimensions; (b) incorporates adequate manoeuvring area to parking spaces (including carports and garages); and (c) incorporates a clear, safe and effective circulation system. <div data-bbox="395 797 715 1413" style="text-align: center;"> </div> <p>Figure 9</p>	<p>AO_{9.1} Design of the site layout must ensure a B85 vehicle (as defined in AS 2890.1:2004 Parking facilities - Off-street car parking) is able to enter an enclosed garage or visitor car park in a single forward manoeuvre and exit in a single reverse manoeuvre prior to departing the site in a forward direction.</p> <p>AO_{9.2} Design of the site layout must ensure a B99 vehicle (as defined in AS 2890.1:2004 Parking facilities - Off-street car parking) is able to enter a visitor car park in a single forward manoeuvre and exit in a single reverse manoeuvre prior to departing the site in a forward direction.</p> <p>Note: See Figure 9.</p> <p>AO_{9.3} Each parking space has minimum dimensions as per Table 7:</p> <table border="1" data-bbox="807 1025 1353 1951" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" data-bbox="807 1025 1353 1077">Table 7</th> </tr> <tr> <th data-bbox="807 1077 1082 1160">Parking Space</th> <th data-bbox="1082 1077 1353 1160">Minimum Dimensions</th> </tr> </thead> <tbody> <tr> <td data-bbox="807 1160 1082 1391">Single uncovered parking space (with at least 400mm clearance between either side of the parking space and the nearest wall.)</td> <td data-bbox="1082 1160 1353 1391">5.4 metres long by 2.6 metres wide</td> </tr> <tr> <td data-bbox="807 1391 1082 1621">Single uncovered parking space (with less than 400mm clearance between either side of the parking space and the nearest wall.)</td> <td data-bbox="1082 1391 1353 1621">5.4 metres long by 3 metres wide</td> </tr> <tr> <td data-bbox="807 1621 1082 1697">Single carport</td> <td data-bbox="1082 1621 1353 1697">5.4 metres long by 3 metres wide</td> </tr> <tr> <td data-bbox="807 1697 1082 1789">Double carport</td> <td data-bbox="1082 1697 1353 1789">5.4 metres long by 5.8 metres wide</td> </tr> <tr> <td data-bbox="807 1789 1082 1868">Single garage</td> <td data-bbox="1082 1789 1353 1868">6.4 metres long by 3 metres wide internally</td> </tr> <tr> <td data-bbox="807 1868 1082 1951">Double garage</td> <td data-bbox="1082 1868 1353 1951">6.4 metres by 6.4 metres wide internally</td> </tr> </tbody> </table>	Table 7		Parking Space	Minimum Dimensions	Single uncovered parking space (with at least 400mm clearance between either side of the parking space and the nearest wall.)	5.4 metres long by 2.6 metres wide	Single uncovered parking space (with less than 400mm clearance between either side of the parking space and the nearest wall.)	5.4 metres long by 3 metres wide	Single carport	5.4 metres long by 3 metres wide	Double carport	5.4 metres long by 5.8 metres wide	Single garage	6.4 metres long by 3 metres wide internally	Double garage	6.4 metres by 6.4 metres wide internally
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Double garage	6.4 metres by 6.4 metres wide internally																

Performance outcomes	Acceptable outcomes
<p>PO₁₀ Development provides resident and visitor car parking which is integrated into the site and building design and:</p> <ul style="list-style-type: none"> (a) Does not negatively impact the amenity of the site, adjoining sites or streetscape; (b) Is not a prominent visual feature from the street or other public spaces; and (c) Contributes to the establishment of a garden setting by avoiding large areas of visible hardstand. 	<p>AO_{10.1} Parking is only provided within the front setback area where it is:</p> <ul style="list-style-type: none"> (a) uncovered and located on a driveway directly in front of a carport or garage; or (b) the front setback is a least 6m, and (c) the car park surface is permeable; (d) a minimum 2m wide densely planted landscape buffer is provided between the car park and the front boundary for the full length of the car park; (e) the location of the car park does not compromise the ability of the dwelling to provide casual surveillance of the public realm; and (f) at least 60% of the front setback area is landscaped area. <p>AO_{10.2} Where car parking is provided below ground:</p> <ul style="list-style-type: none"> (a) Access ramps are not located within 6m of the street boundary and do not exceed an opening width of 6m; and (b) Entry to the site for pedestrians is provided separate from vehicle entries by way of a safe, well lit and clearly identifiable pathway or gatehouse; <p>AO_{10.3} All car parking:</p> <ul style="list-style-type: none"> (a) is clearly signposted; and (b) is freely available for use by to the applicable occupants and visitors of the development. <p>Note: See Figures 10 and 11.</p>



Performance outcomes	Acceptable outcomes
<p style="text-align: center;">Figure 11</p>	
<p>PO₁₁ Safe and equitable access for both pedestrians and vehicles is provided, to and from buildings and the street whilst minimising the extent and number of driveways.</p>	<p>In partial fulfilment of the performance outcome:</p> <p>AO_{11.1} Vehicular access from the street is provided via a single shared driveway with a maximum crossover width of 5m.</p> <p>AO_{11.2} Where the site abuts a lane vehicle access is provided from the lane.</p> <p>Note: See Figure 12.</p>

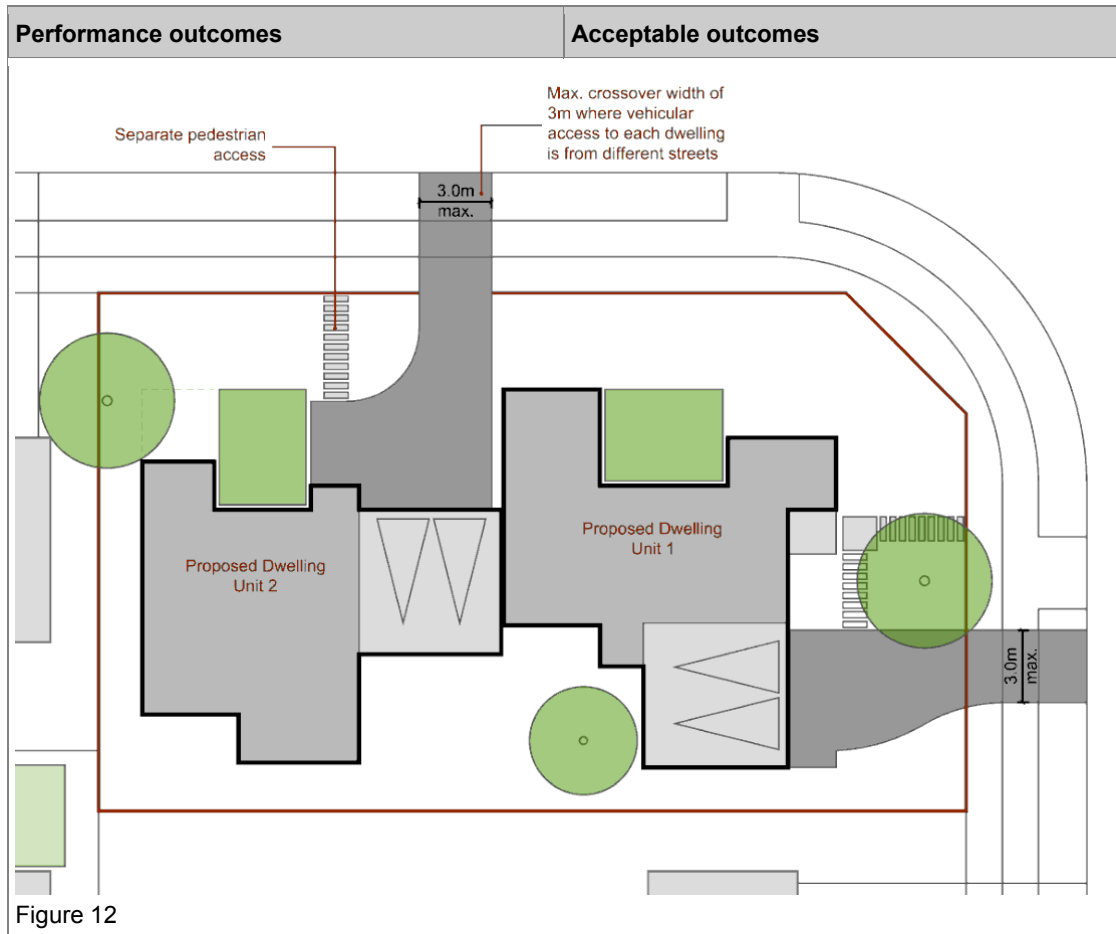
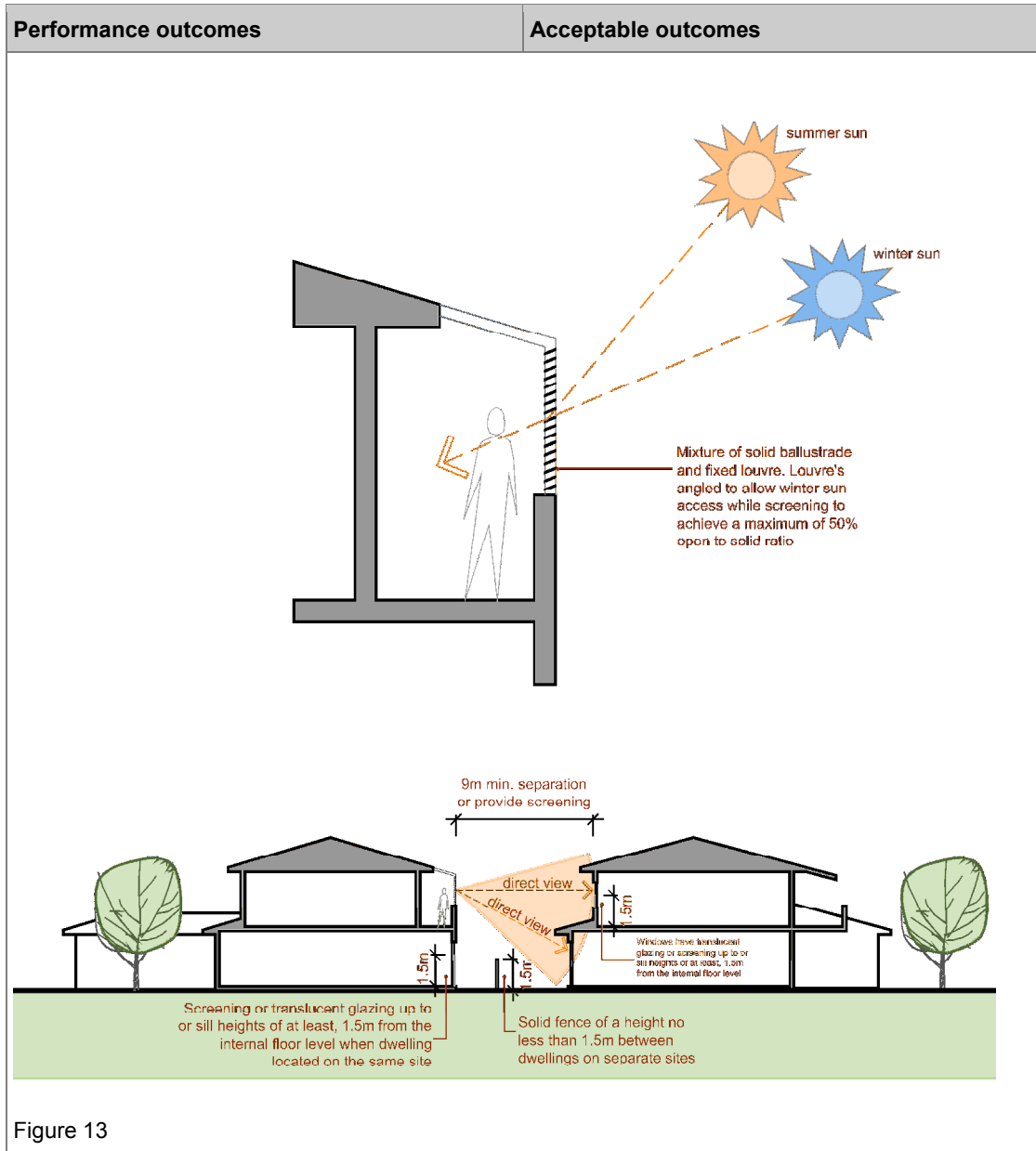


Figure 12

Performance outcomes	Acceptable outcomes
<p>PO₁₂ The privacy of residents of the development or adjoining premises is protected when they are inside a dwelling or in a private open space area.</p>	<p>AO_{12.1} Habitable room windows of a dwelling are separated a minimum of 9m from a habitable room window or private open space of another dwelling on the same or an adjoining site.</p> <p>OR</p> <p>AO_{12.2} Where there is a direct view within 9m into a habitable room or private open space of another dwelling on the same or an adjoining site:</p> <ul style="list-style-type: none"> (a) The elements with the view such as windows, balconies, or terraces of a dwelling must be screened in accordance with AO13.3; or (b) The Windows have translucent glazing up to or sill heights of at least, 1.5m from the internal floor level; or (c) A solid fence or masonry wall with a minimum height of 1.5m is positioned between the elements with the view. <p>AND</p> <p>AO_{12.3} Where screening is used, it:</p> <ul style="list-style-type: none"> (a) is a solid translucent screen or a louvre perforated panel, trellis or the like that has a maximum of 50% open to solid ratio; and (b) is a fixed, permanent element of a design that complements the style, detailing and materials of the development. <p>Note: See Figure 13.</p>



Performance outcomes	Acceptable outcomes
PO ₁₃ The development is designed so that occupants are not adversely affected by adjoining non-residential uses.	In partial fulfilment of the performance outcome AO _{13.1} A 1.8m high solid screen fence and 2m wide vegetated buffer is provided along any section of the site boundary that is common with vehicle movement and/or parking areas associated with a non-residential use on an adjoining site.
PO ₁₄ Noise from the development does not unreasonably impact on existing or likely future dwellings on nearby land.	AO _{14.1} For developments of six (6) dwellings or more, vehicle movement areas are located a minimum of 3m from any adjoining dwellings. AO _{14.2} Swimming pools, BBQs, dining areas and other recreational facilities located within communal open areas are located a minimum of 3m from adjoining dwellings. OR AO _{14.3} Provide acoustic screening in accordance with an acoustic engineer's design where vehicle movement or recreational areas are located closer than 3m to any adjoining dwellings. Note: A minimum 1.5m vegetation buffer will be required with any acoustic fence to provide amenity. (See Figures 14 and 15.)



Figure 14

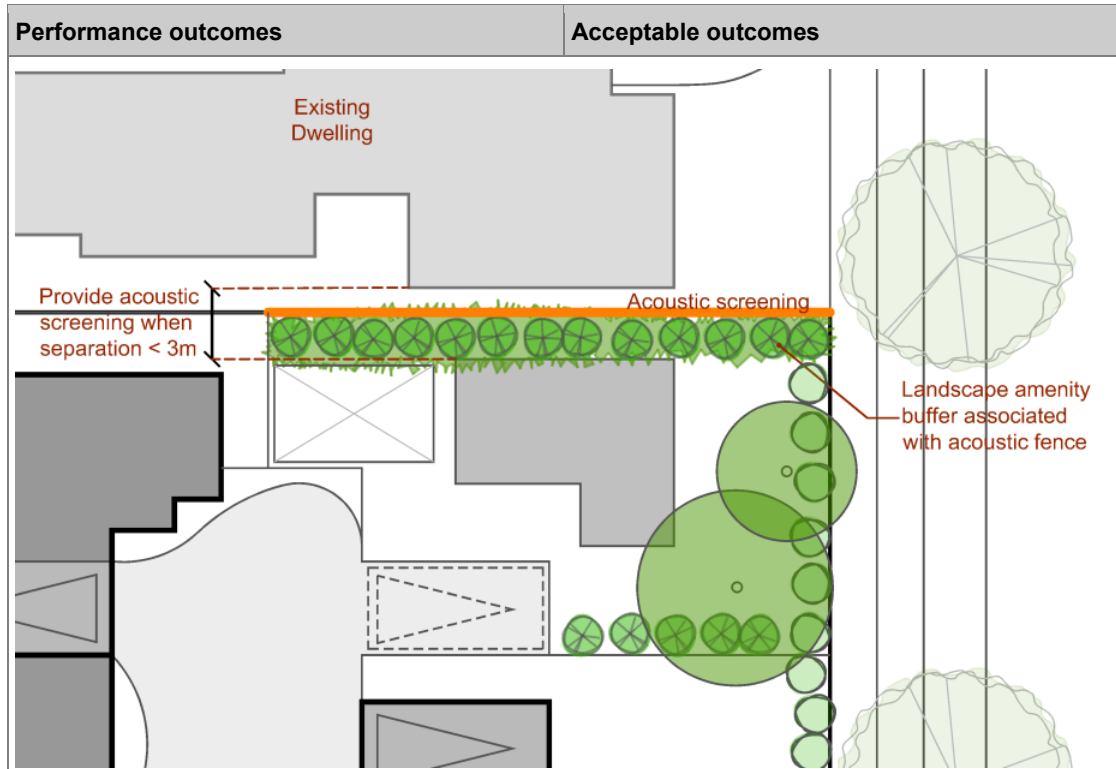


Figure 15

Performance outcomes	Acceptable outcomes
<p>PO₁₅ Where communal open space is provided, it:</p> <ul style="list-style-type: none"> (a) is positioned on site to enjoy a good solar orientation; (b) includes landscaping and screening for privacy to provide amenity; (c) is easily accessible and conveniently located for the use of all occupants; (d) is useable and safe; (e) is designed and located to minimise internal and external impacts on the amenity of residents and neighbouring premises; and (f) contributes positively to the streetscape where located in a frontage area. 	<p>AO_{15.1} Communal open space is oriented to receive at least three hours of sun between 9am and 5pm on 21 June.</p> <p>AO_{15.2} Communal open space provided at the ground level, includes a balance of soft and hard landscape features with:</p> <ul style="list-style-type: none"> a) a minimum 50% open to the sky, and b) a minimum 25% shaded by trees within 5 years. <p>AO_{15.3} The location and design of communal open space ensures that it is:</p> <ul style="list-style-type: none"> a) able to be accessed by all residents from a common area within the site; b) subject to casual surveillance; and c) separated from private areas of the site. <p>AO_{15.4} Communal open spaces may include indoor recreation facilities.</p> <p>Note: Communal open spaces do not contain:</p> <ul style="list-style-type: none"> (a) vehicle driveways, parking, manoeuvring or other associated hardstand areas; or (b) structures such as rainwater tanks, bin storage areas, air conditioning plant, clothes hoists, etc. (See Figure 16.)

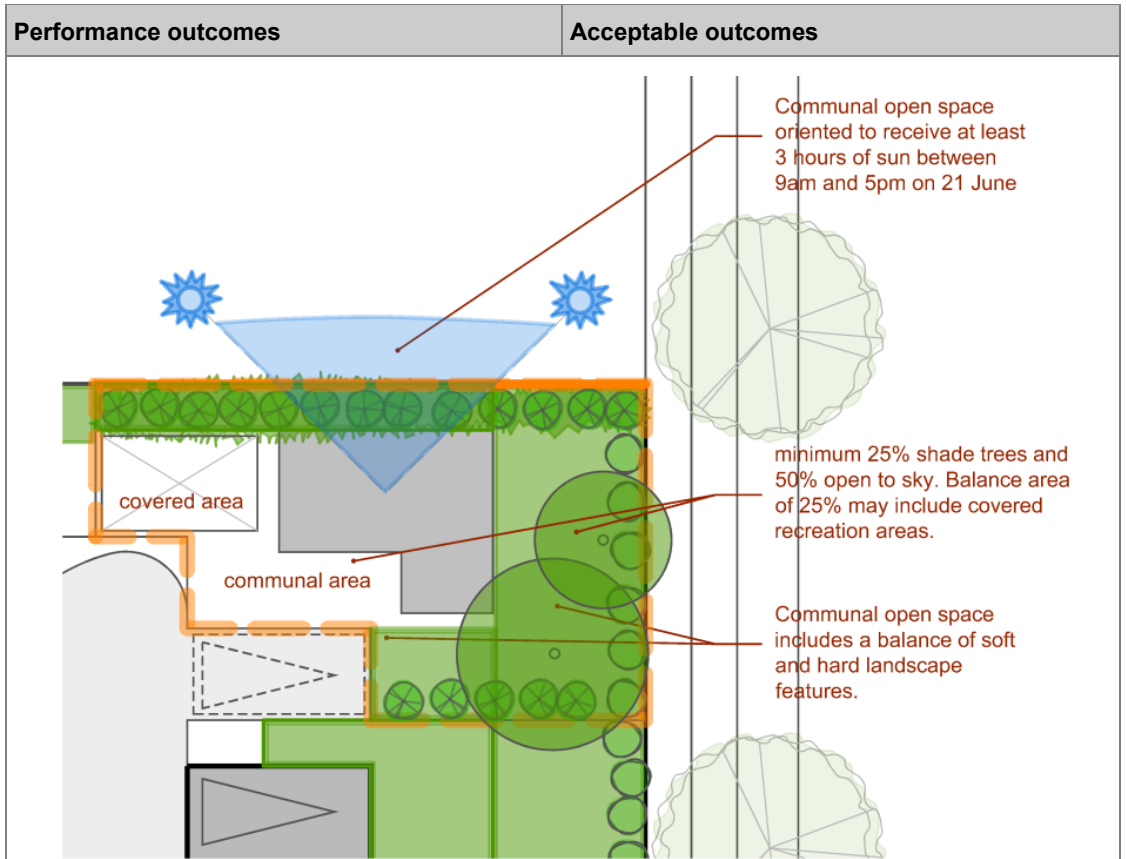
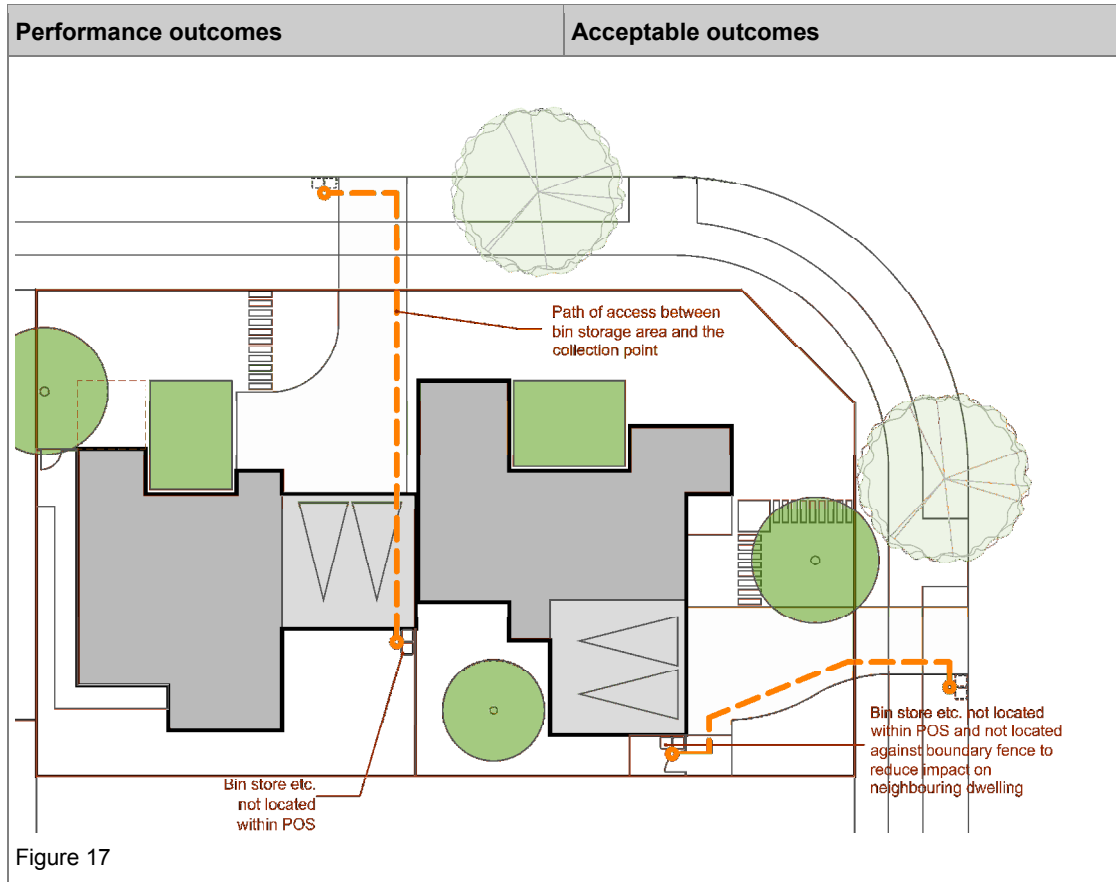


Figure 16

Performance outcomes	Acceptable outcomes
<p>PO₁₆ Bin storage and access to the collection point is provided in a manner which is convenient, hygienic and will not result in an amenity impact on any use onsite or adjoining the premises.</p>	<p>AO_{16.1} Bin storage is:</p> <ul style="list-style-type: none"> (a) not located within the minimum private open space area required for the development; (b) not located within 2m of any fresh air intake of any dwelling on the premises or adjoining premises; and (c) if in an area which is accessible by more than one dwelling, is clearly identified as the storage area for the relevant unit/dwelling. <p>AO_{16.2} A path of access is provided between any bin storage area and the collection point which:</p> <ul style="list-style-type: none"> (a) is a minimum of 1.2m wide; (b) is clear of any obstruction (i.e. retaining wall, landscaping, hot water tank); (c) does not traverse through any habitable room (other than a garage); (d) provides an at grade path of access (i.e. no steps); and (e) is no longer than 30m. <p>Note: See Figure 17.</p>



Performance outcomes	Acceptable outcomes
<p>PO₁₇ Long, unvaried driveways to property boundaries are avoided and do not detract from the local streetscape.</p>	<p>AO_{17.1} Driveways are setback from side boundaries a minimum of 1.5m for the first 6m and 750mm thereafter incorporating a continuous densely planted landscape strip between the edge of the driveway and side boundary.</p> <p>AO_{17.2} Driveways that exceed 40 metres in length must incorporate a change of alignment of a minimum of 1m.</p> <p>Note: See Figure 18.</p>

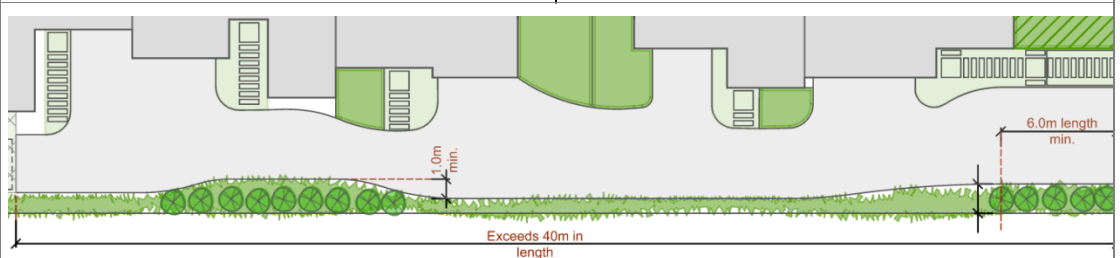


Figure 18

Performance outcomes	Acceptable outcomes
<p>PO₁₈ Buildings are designed to a high aesthetic standard providing:</p> <ul style="list-style-type: none"> (a) prominent features towards the street frontage; (b) detailing and finishes appropriate to the scale, quality and character of the street and to help differentiate between dwellings; (c) opportunities for informal surveillance of the street and other public spaces; (d) clear and visible entries; and (e) elements that complement or enhance the character of the local neighbourhood. 	<p>In partial fulfilment of the performance outcome:</p> <p>AO_{18.1} Buildings:</p> <ul style="list-style-type: none"> (a) where at the front of the site, are oriented to and address the street; (b) have front entries that provide full weather protection and where within 10m of any street, have clearly defined front entries that are visible from the street; (c) where within 10m of any street; have one or more habitable rooms facing the street boundary that have windows or doors with a minimum area of clear glazing of 0.25m² for each linear metre of street frontage; and (d) are designed to deliver depth in the façade facing the street or public space with a variation not less than 2m deep for a minimum 50% of the building width at ground level. <p>Note: See Figure 19.</p>

Performance outcomes	Acceptable outcomes
<p>PO19 Development incorporates typical domestic detailing to achieve a residential scale living environment with aesthetic standards and amenity for occupants similar to those of single dwellings in the neighbourhood.</p>	<p>In partial fulfilment of the performance outcome</p> <p>AO19.1 The maximum single wall length of a building is 32m with offsets of 600mm minimum provided every 7.5m; Note: Building walls separated by a distance of less than 10% of their combined length are considered as one wall. (See Figure 20.)</p> <p>AO19.2 Building bulk is minimised through articulation and other measures, including the provision of at least one (1) element from at least three (3) of the following element groups: (a) verandahs, porches, pergolas or balconies; (b) roof overhangs; (c) window hoods/screens; (d) awning and shade structures; or (e) 600mm vertical gutter offset to create roof articulation.</p> <p>AO19.3 Townhouses or attached dwellings have : (a) no more than three (3) dwellings contained within a single building; (b) a minimum of 4.5m separation between buildings.</p>

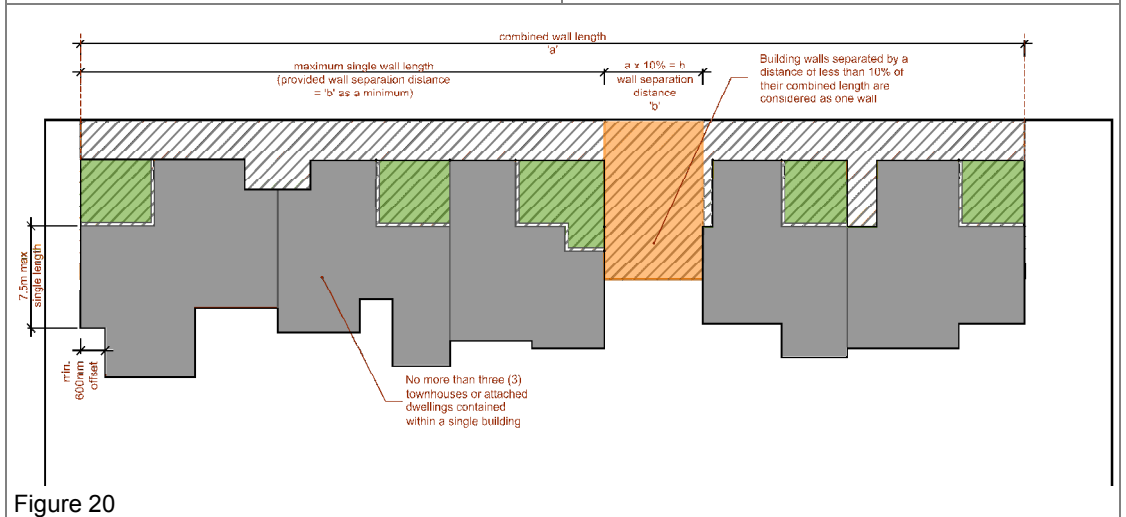


Figure 20

Performance outcomes	Acceptable outcomes
<p>Performance outcomes</p> <p>PO₂₀ Facades include a variety of colours, finishes and textures based on those found in houses within the surrounding streetscape and appropriate to the desired character of the area.</p>	<p>Acceptable outcomes</p> <p>In partial fulfilment of the performance outcome:</p> <p>AO_{20.1} Building facades incorporate:</p> <ul style="list-style-type: none"> (a) external elements and treatments that are of a high quality finish, durable and need minimal maintenance; (b) at least three (3) distinct textures to finishes or surfaces not including roof, rainwater goods, glazing, joinery, doors, garage doors or soffits; and (c) colours and textures that are similar with the colours and textures of adjoining buildings.

Performance outcomes	Acceptable outcomes
<p>PO₂₁ Development provides landscaping that contributes to the landscape character, shade and the micro-climate of the neighbourhood and site through the retention of existing significant trees on the site.</p>	<p>In partial fulfilment of the performance outcome:</p> <p>AO_{21.1} Landscape design plans for the subject site are prepared by a Registered Landscape Architect and lodged with the application for development approval.</p> <p>AO_{21.2} Existing mature trees:</p> <ul style="list-style-type: none"> (a) are retained where assessed by a qualified arborist as healthy and sound and not a potential risk to people and property, and having a life expectancy greater than 10 years; and (b) are integrated into the site design and protected from disturbance. <p>Note: An arborist report will be required to demonstrate assessment of mature trees and include advice for their protection from disturbance during construction.</p> <p>Note: Retained mature trees are eligible to contribute to minimum tree provision requirements within AO22.3.</p> <p>OR</p> <p>AO_{21.3} New canopy trees capable of achieving a height of at least five (5) metres and canopy spread of at least six (6) metres at maturity are provided at the following rate:</p> <ul style="list-style-type: none"> (a) one (1) per site with a frontage of less than 25 metres; and (b) two (2) per site with a frontage of 25m or more. <p>AO_{21.4} Plant species selection complements the local landscape character, is long lived, has non-invasive roots and suited to the site drainage, soil and climatic conditions.</p> <p>Note: New street trees should be provided in accordance with Toowoomba Regional Council Street Tree Master Plan</p>

Performance outcomes	Acceptable outcomes
<p>PO₂₂ The treatment of fencing and retaining walls in all situations reinforces the high quality, amenity and safety of the development.</p> <p>Note: Details demonstrating compliance with the performance outcome should be included in the landscape design drawings submitted with any development application.</p>	<p>AO_{22.1} The maximum total height of a combined fence and retaining wall is 2.1m, as measured from the finished surface level.</p> <p>AO_{22.2} Where a combined fence and retaining wall is located on the front boundary, the fence has a minimum transparency of 30% when viewed from in front of the fence (at 90 degree angle to the fence).</p> <p>AO_{22.3} Retaining walls and fences are constructed of high quality materials and contribute to residential amenity.</p> <p>AO_{22.4} Any fence on the front boundary has a minimum 30% transparency when viewed from in front of the fence (at 90 degree angle to the fence).</p> <p>Note: Where retaining walls are set off the property boundary by a minimum of 600mm, they are not considered to be combined with the fencing. (See Figure 21.)</p>

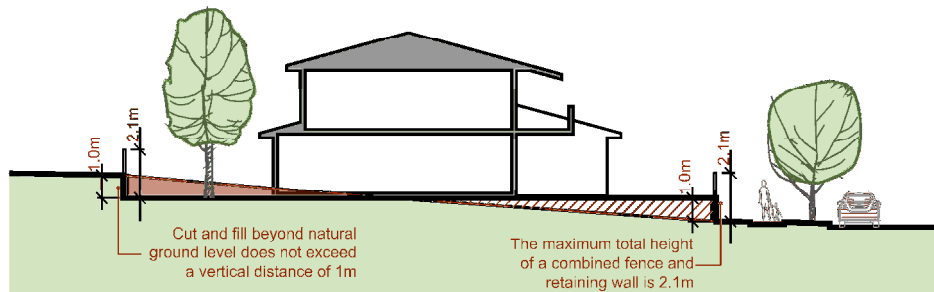


Figure 21

Performance outcomes	Acceptable outcomes
<p>PO₂₃ Front fencing contributes to privacy, screening, security, and street character while maintaining a visual relationship between dwellings and public spaces.</p> <p>Note: Details demonstrating compliance with the performance outcome should be included in the landscape design drawings submitted with any development application.</p>	<p>AO_{23.1} Fences located on a front property boundary or a common boundary with an adjacent park or within the front setback area:</p> <ul style="list-style-type: none"> (a) have a maximum height of 1.2 metres; or (b) have a maximum height of 1.5 metres and a minimum transparency of 30% when viewed from in front of the fence (at 90 degree angle to the fence). <p>Note: In instances where the fence is located in conjunction with a retaining wall refer PO₂₃.</p>
<p>PO₂₄ Stormwater discharge from the site is to a lawful point of discharge as defined in the Queensland Urban Drainage Manual (QUDM), without the use of pumped or charged pipe systems, and not to private land other than to an easement for stormwater purposes befitting the site and allowing discharge to a lawful point of discharge in land over which Council has tenure or control.</p> <p>Note: Land over which Council has tenure or control does not include Council's open space network.</p>	<p>AO_{24.1} The site:</p> <ul style="list-style-type: none"> (a) has a natural surface with an elevation that is higher than the abutting road and enables stormwater to drain gravitationally to the abutting road via subsurface pipes; or (b) has a natural surface with an elevation that is higher than Council's stormwater drainage network in the abutting road and enables stormwater to drain gravitationally to the stormwater drainage network in the abutting road via subsurface pipes; or (c) has lawful access to an inter allotment drainage network with available capacity to meet the requirements of the development.
<p>PO₂₅ Where a Relocatable Home Park or Tourist Park the development site has an appropriate area and configuration to accommodate home or van sites, as well as adequate landscape and recreation areas, ancillary amenities and facilities, car parking and service areas.</p>	<p>No acceptable outcome is nominated.</p>

Appendix 2 – Small Lot Housing Design Code

9.3.10 Small Lot Housing Design Code⁴⁸

9.3.10.1 Application

- (1) This code applies to development identified as requiring assessment against the Small Lot Housing Design Code by the categories of development and assessment tables in Part 5 – Tables of Assessment.

9.3.10.2 Purpose

- (1) The purpose of the Small Lot Housing Design Code is to guide the development of dwelling houses located on lots with an area less than 450m² to enable a range of dwelling sizes and products to support housing diversity within the Toowoomba Region.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Dwelling houses that complement or enhance the character of the neighbourhood and providing a high quality contribution to the local streetscape and Toowoomba's 'Garden City' character;
 - (b) Development enhances housing diversity, offering choice to different household types and individuals to suit residents through different life-cycle stages;
 - (c) Dwelling houses are developed at a scale and height compatible with, and sympathetic to the adjoining existing residential parcels; and
 - (d) Dwelling houses that provide appropriate levels of amenity and privacy, and adequate outdoor areas and car parking to meet varying household needs.

⁴⁸ Amended on 29 November 2019

9.3.10.3 Requirements for accepted development and assessment benchmarks for assessable development

Table 9.3.10:1 – Small lot housing design code – Requirements for accepted development and assessment benchmarks for assessable development

Performance outcomes	Acceptable Outcomes
<p>PO₁ Building siting, mass and form:</p> <ul style="list-style-type: none"> (a) maximizes setbacks; (b) maximizes landscaping; (c) ensures adequate useable outdoor areas; (d) ensures adequate space for vehicle movement and parking areas; (e) ensures development maximizes on-site infiltration and minimizes the additional burden on drainage infrastructure; (f) reduces the impact of additional hardstand; (g) respects the existing or preferred neighbourhood character and responds to the features of the site; (h) allows for the provision of an appropriate supply of landscaping and open space; and (i) ensure accessible location for storage of rubbish bins and appropriate space for location of bins for ease of refuse collection. 	<p>For development up to two (2) storeys:</p> <p>AO_{1.1} Site cover does not exceed 50% where the lot width is greater than 10m.</p> <p>AO_{1.2} Site cover does not exceed 60% where the lot width is 10m or less.</p> <p>Note: See Figure 1.</p> <p>AO_{1.3} Impervious site cover does not exceed 70%.</p> <p>Note: See Figure 2.</p> <p>For development over two (2) storeys: No acceptable outcome is nominated.</p> <p>For all development:</p> <p>AO_{1.4} Development ensures that solar access to habitable rooms and private open space on the development site and adjoining premises achieves minimum solar gain of 3 hours between 9am and 3pm July 21.</p> <p>Note: See Figure 3.</p> <p>AO_{1.5} Where the development abuts a rear lane refuse collection must be accommodated at the rear of the property</p> <p>AO_{1.6} Rubbish bin location for collection to be delivered within the site boundary.</p>

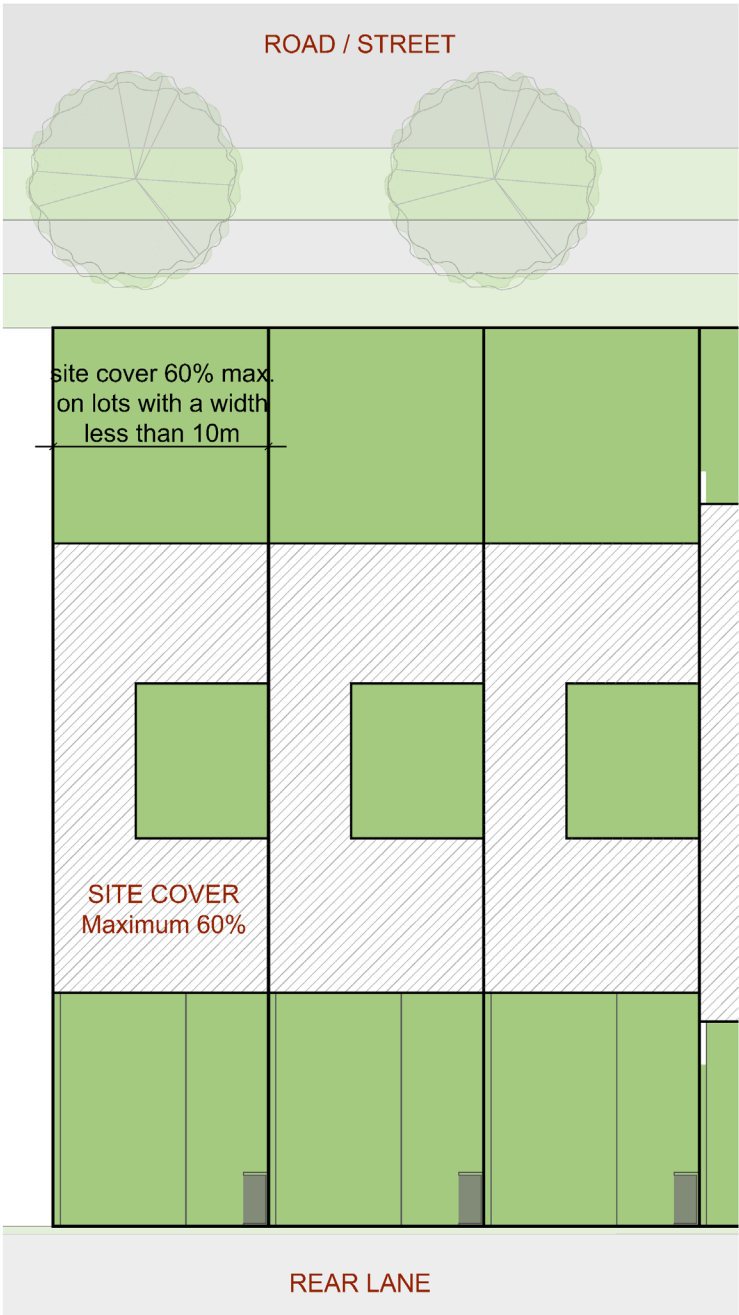
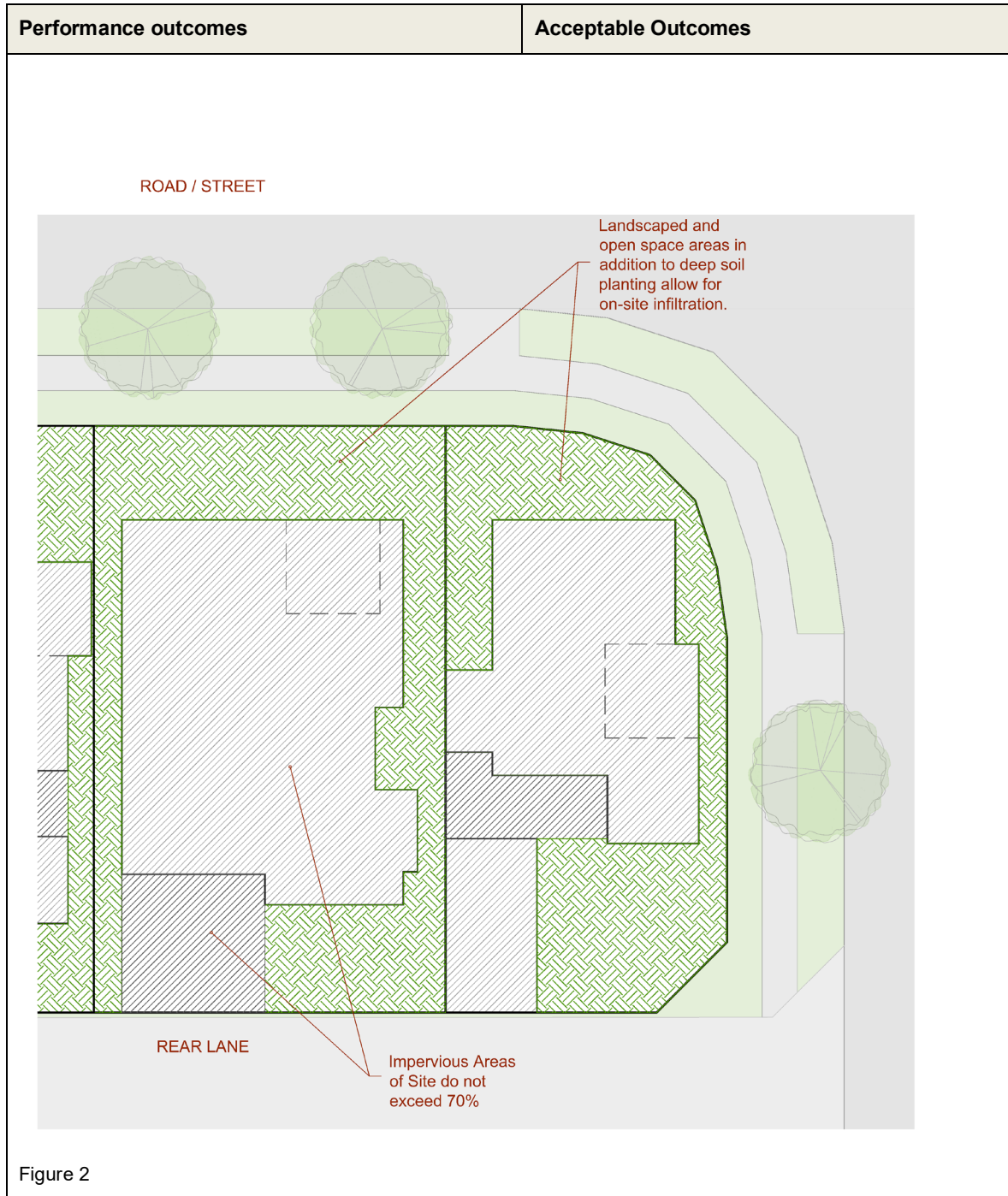
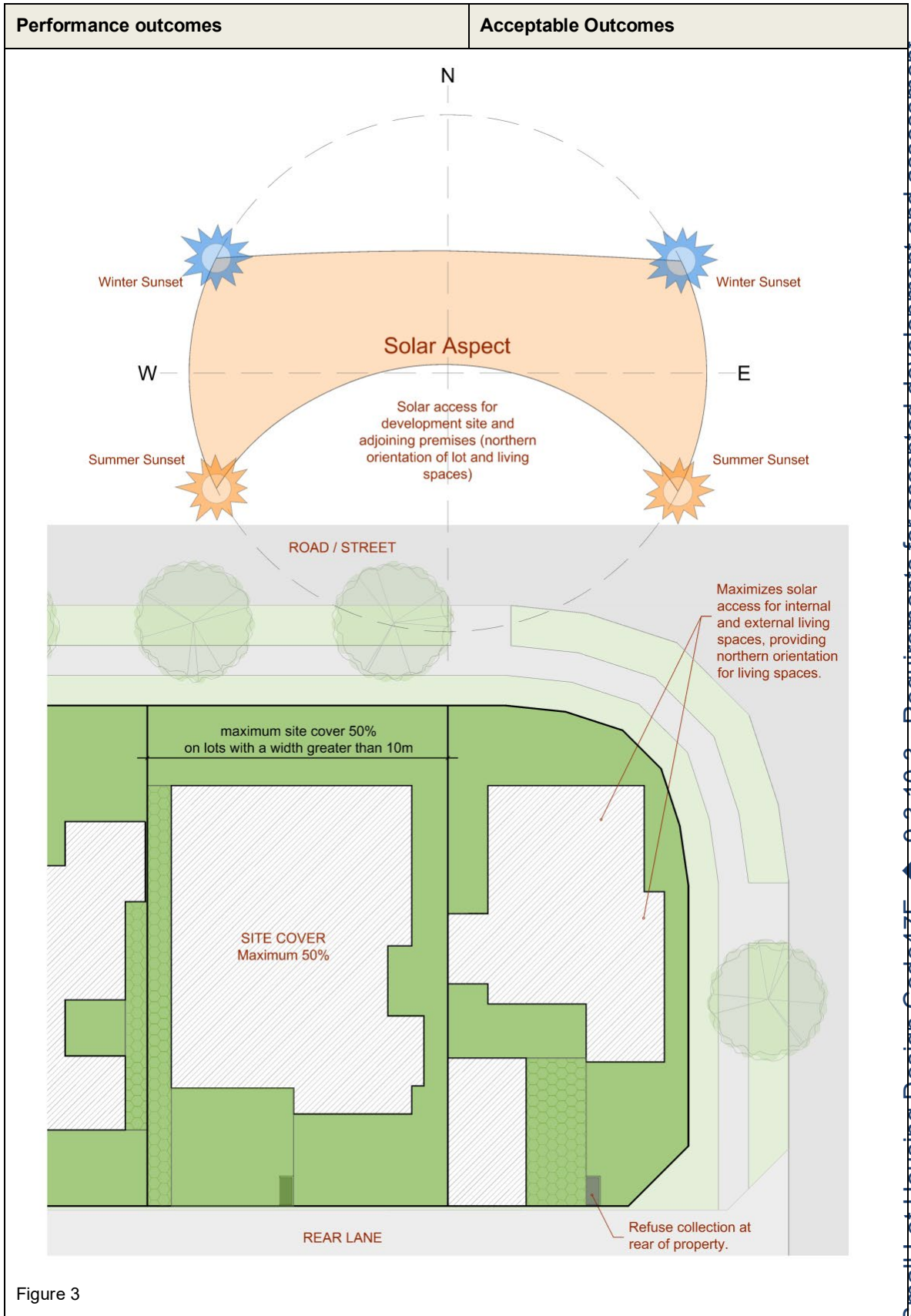
Performance outcomes	Acceptable Outcomes
 <p>The diagram illustrates the site cover requirements for lots with a width less than 10m. It shows a lot with a 'ROAD / STREET' at the top and a 'REAR LANE' at the bottom. The lot is divided into three sections. The top section is solid green and labeled 'site cover 60% max. on lots with a width less than 10m'. The middle section is hatched and contains three smaller green rectangles, labeled 'SITE COVER Maximum 60%'. The bottom section is solid green and contains three small grey rectangles representing buildings. Two trees are shown in the 'ROAD / STREET' area.</p>	

Figure 1

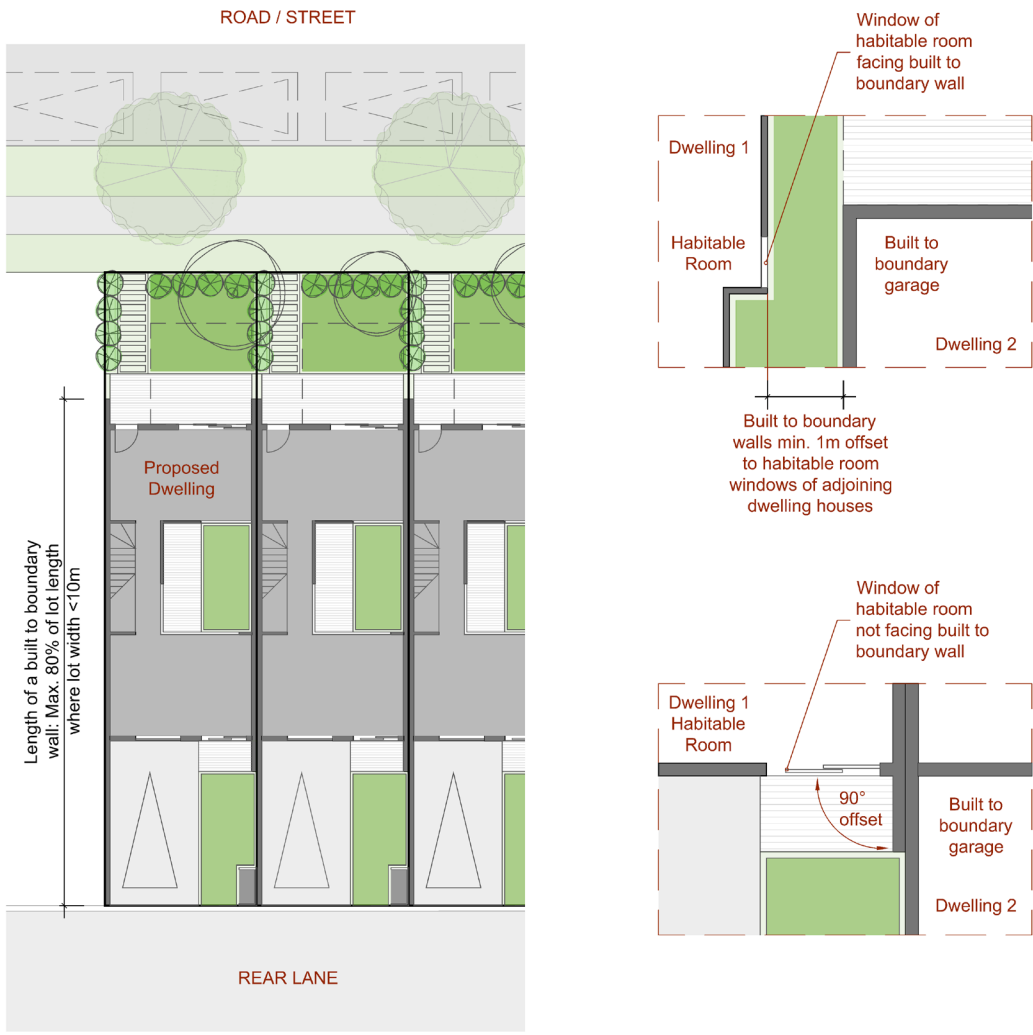




9.3.10 – Small Lot Housing Design Code 47F ♦ 9.3.10.3 – Requirements for accepted development and assessment

Performance outcomes	Acceptable Outcomes										
<p>PO₂ Buildings and structures:</p> <ul style="list-style-type: none"> (a) do not lot unduly overshadow adjoining properties; and (b) are designed in a manner that minimises the impact on the amenity of residents on adjoining lots; (c) comprise a height and bulk which is consistent and compatible with the character of the streetscape and local area; (d) maximises solar access for internal and external living spaces; and (e) do not compromise solar access for adjoining premises. 	<p>AO_{2.1} Buildings have a maximum height of two (2) storeys or 8.5m above ground level.</p> <p>AO_{2.2} Development ensures that solar access to habitable rooms and private open space on the development site and adjoining premises achieves minimum solar gain of 3 hours between 9am and 3pm July 21.</p>										
<p>PO₃ Buildings are setback from the street to:</p> <ul style="list-style-type: none"> (a) complement existing streetscape character, or (b) where there is no existing streetscape character, create space for gardens and landscaping, 	<p>AO_{3.1} Buildings are setback from the road frontage:</p> <ul style="list-style-type: none"> (a) within 10% of the average front setback of existing residential buildings within 100m of the site; or (b) where there is no adjoining buildings the front setback is provided in accordance with Table 4. <table border="1" data-bbox="863 1077 1401 1487"> <thead> <tr> <th colspan="2" data-bbox="863 1077 1401 1128">Table 4</th> </tr> <tr> <th data-bbox="863 1128 1157 1180">Building element</th> <th data-bbox="1157 1128 1401 1180">Minimum setback</th> </tr> </thead> <tbody> <tr> <td data-bbox="863 1180 1157 1261">Solid building wall (other than a garage)</td> <td data-bbox="1157 1180 1401 1261">4.0m</td> </tr> <tr> <td data-bbox="863 1261 1157 1352">Solid building wall (where for a garage)</td> <td data-bbox="1157 1261 1401 1352">5.5m</td> </tr> <tr> <td data-bbox="863 1352 1157 1487">Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)</td> <td data-bbox="1157 1352 1401 1487">3.5m (or 3m where secondary road frontage)</td> </tr> </tbody> </table> <p>Note: Eaves and window hoods (or a portion thereof) may encroach into the above setbacks by a maximum of 600mm.</p> <p>Note: AO 3.1 is an alternative provision for P1 within QDC Part MP1.1 Design and Siting Standard for Single Detached Houses – On lots under 450m².</p>	Table 4		Building element	Minimum setback	Solid building wall (other than a garage)	4.0m	Solid building wall (where for a garage)	5.5m	Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)
Table 4											
Building element	Minimum setback										
Solid building wall (other than a garage)	4.0m										
Solid building wall (where for a garage)	5.5m										
Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)										

Performance outcomes	Acceptable Outcomes
<p>PO₄ Buildings are setback from adjacent properties to:</p> <ul style="list-style-type: none"> (a) minimise the impact of development on the amenity and privacy of residents of adjoining lots; and (b) facilitate adequate ventilation and access to daylight to habitable rooms within the proposed dwelling house and those of buildings on adjoining lots. 	<p>AO_{4.1}. <u>Development is setback from side and rear boundaries by the applicable minimum distance outlined in Table 9.3.10:3.</u></p> <p>Note: AO 4.1 is an alternative provision for P2 within QDC Part MP1.1 Design and Siting Standard for Single Detached Houses – On lots under 450m².</p>
<p>PO₅ Built to boundary walls are designed and located:</p> <ul style="list-style-type: none"> (a) in a manner that is consistent and compatible with the character of the local area; (b) where they reflect the intended scale and intensity of residential development; (c) does not unduly impact on the amenity of an adjoining dwelling; (d) considers the existing and future development of adjoining land; (e) to allow access to daylight, sunlight and prevailing breezes for residents of the dwelling; and (f) to allow for ease of maintenance. <p>Note: A built to boundary wall is a wall that comprises a 0 metre setback to a property boundary.</p>	<p>AO_{5.1}. Built to boundary walls are not provided on a boundary which is abutted by properties which are located in the Low Density Residential Zone.</p> <p>AO_{5.2}. Built to boundary walls are not provided on a lot in the Low Density Residential Zone.</p> <p>AO_{5.3}. Built to boundary walls do not comprise windows or openings and are constructed of low maintenance materials.</p> <p>AO_{5.4}. Built to boundary walls are not located within 1.0 metre of a habitable room window of an adjoining dwelling house.</p> <p>AO_{5.5} The maximum length of the built to boundary wall is as nominated in Table 9.3.10:3.</p> <p>Note: See Figure 4.</p>

Performance outcomes	Acceptable Outcomes
 <p>Figure 4</p>	<p>Window of habitable room facing built to boundary wall</p> <p>Dwelling 1</p> <p>Habitable Room</p> <p>Built to boundary garage</p> <p>Dwelling 2</p> <p>Built to boundary walls min. 1m offset to habitable room windows of adjoining dwelling houses</p> <p>Window of habitable room not facing built to boundary wall</p> <p>Dwelling 1 Habitable Room</p> <p>90° offset</p> <p>Built to boundary garage</p> <p>Dwelling 2</p>
<p>PO₆ Development of built to boundary walls respects the amenity of adjoining premises within the Low Density Residential Zone.</p>	<p>AO_{6.1} Built to boundary walls are not located along a boundary shared with a lot within the Low Density Residential Zone.</p>

Performance outcomes	Acceptable Outcomes
<p>PO₇ Garages, carports and driveways do not dominate the street frontage and are designed to be compatible with the main dwelling having regard to:</p> <ul style="list-style-type: none"> (a) height; (b) roof form; and (c) materials. 	<p>AO_{7.1} For lots without rear lane access:</p> <ul style="list-style-type: none"> (a) where two parking spaces are provided they are in a tandem configuration; and (b) Covered parking spaces are limited to a garage or carport with a frontage width that is no greater than 3.5m; (c) Driveway width is no greater than 3.5m; and (d) the garage or carport is setback a minimum of one (1) metre behind the main face⁴⁹ of the dwelling. <p>AO_{7.2} For lots with rear lane access:</p> <ul style="list-style-type: none"> (a) vehicular access to the garage/carport is provided only via the rear lane; (b) the site layout must ensure a B85 vehicle (as defined in AS 2890.1:2004 Parking facilities - Off-street car parking) is able to enter a garage/carport or visitor car park in a single manoeuvre and exit in a single manoeuvre without vehicle turning overhang impinging on walls, posts or landscaping areas). <p>AO_{7.3} Garage and carport design is compatible with the main dwelling design in terms of:</p> <ul style="list-style-type: none"> (a) height; (b) roof form; and (c) materials. <p>Note: See Figure 5.</p> <p>Note: AO 7.1 and 7.2 are alternative provision for P8 within QDC Part MP1.1 Design and Siting Standard for Single Detached Houses – On lots under 450m².</p>

⁴⁹ The 'main face' of the dwelling is the closest non-garage/carport dwelling element to the front boundary (such as the main building façade, or a first-floor balcony that faces the street (if provided)).



Performance outcomes	Acceptable Outcomes																				
<p>PO₈ Sufficient car parking is provided for the dwelling house that:</p> <ul style="list-style-type: none"> (a) appropriately caters for the anticipated demand generated by residents and visitors; (b) ensures the residential amenity of the site and local area is maintained or enhanced; (c) does not negatively impact on the character of the streetscape or local area; (d) does not unduly burden the passage of pedestrians along the frontage; and (e) is of sufficient dimensions to allow ease of access and use for residents and visitors. 	<p>AO_{8.1} On-site parking is provided in accordance with the following table:</p> <table border="1" data-bbox="975 434 1520 640"> <thead> <tr> <th>Number of bedrooms</th> <th>Parking Provision (minimum)</th> </tr> </thead> <tbody> <tr> <td>1 or 2 bedrooms</td> <td>1 space</td> </tr> <tr> <td>3 or more bedrooms</td> <td>2 spaces</td> </tr> </tbody> </table> <p>AO_{8.2} Each parking space has minimum dimensions as per the following table:</p> <table border="1" data-bbox="975 730 1520 1715"> <thead> <tr> <th>Parking Space</th> <th>Minimum Dimensions</th> </tr> </thead> <tbody> <tr> <td>Single uncovered parking space (with at least 400mm clearance between either side of the parking space and the nearest wall.)</td> <td>5.4 metres long by 2.6 metres wide</td> </tr> <tr> <td>Single uncovered parking space (with less than 400mm clearance between either side of the parking space and the nearest wall.)</td> <td>5.4 metres long by 3 metres wide</td> </tr> <tr> <td>Single carport</td> <td>5.4 metres long by 3 metres wide</td> </tr> <tr> <td>Double carport</td> <td>5.4 metres long by 5.8 metres wide</td> </tr> <tr> <td>Single garage</td> <td>6.4 metres long by 3 metres wide internally</td> </tr> <tr> <td>Double garage</td> <td>6.4 metres long by 6.4 metres wide internally</td> </tr> </tbody> </table> <p>Notes: See Figure 6.</p> <p>Notes: AO 8.1 and 8.2 are alternative provision for P8 within QDC Part MP1.1 Design and Siting Standard for Single Detached Houses – On lots under 450m².</p> <p>Notes: Double carport, garage or parking space may only be located in conjunction with rear laneway access. All other instances will require tandem car parking solutions.</p>	Number of bedrooms	Parking Provision (minimum)	1 or 2 bedrooms	1 space	3 or more bedrooms	2 spaces	Parking Space	Minimum Dimensions	Single uncovered parking space (with at least 400mm clearance between either side of the parking space and the nearest wall.)	5.4 metres long by 2.6 metres wide	Single uncovered parking space (with less than 400mm clearance between either side of the parking space and the nearest wall.)	5.4 metres long by 3 metres wide	Single carport	5.4 metres long by 3 metres wide	Double carport	5.4 metres long by 5.8 metres wide	Single garage	6.4 metres long by 3 metres wide internally	Double garage	6.4 metres long by 6.4 metres wide internally
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9.3.10 – Small Lot Housing Design Code 47F ♦ 9.3.10.3 – Requirements for accepted development and assessment



Performance outcomes	Acceptable Outcomes
<p>PO₉ Private open space design:</p> <ul style="list-style-type: none"> (a) ensures users have functional, pleasant and private outdoor living spaces; (b) meets the needs of the intended users; (c) does not detract from the streetscape; and (d) does not limit the ability for the dwelling to provide casual surveillance to public spaces. 	<p>AO_{9.1} The detached dwelling has a clearly defined area of private open space at ground level that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 16.0m², (b) has minimum dimensions of 4.0m by 4.0m; (c) is fenced or landscaped to achieve privacy for occupants; (d) is clear of bins, clothes lines, hot water systems, air conditioning units, water tanks and associated infrastructure and other forms of ancillary equipment; (e) has access from a living area or kitchen within the dwelling; and (f) receives at least three hours of sun between 9am and 5pm on 21 June, <p>Private open space can include verandas and covered outdoor ground level recreation areas.</p> <p>AO_{9.2} Private open space is only located within the front setback area:</p> <ul style="list-style-type: none"> (a) where it is the only location where the private open space can be oriented to receive at least three hours of sun between 9am and 5pm on 21 June, and (b) there is a 1.5m vegetated buffer between the edge of the POS and the front fence. <p>Note: See Figure 7.</p> <p>Note: AO_{9.1} is an alternative provision for P9 within QDC Part MP1.1 Design and Siting Standard for Single Detached Houses – On lots under 450m².</p>

Performance outcomes	Acceptable Outcomes
<p>Figure 7</p>	<p>PO₁₀ Development ensures that building design facilitates casual surveillance of the street or adjoining park;</p> <p>AO_{10.1} Building facades fronting streets or parks include windows, openings, decks or balconies appropriate to permit casual surveillance of these public areas.</p> <p>AO_{10.2} The front door and at least one habitable room window is visible to the primary street frontage⁵⁰.</p> <p>Note: See Figure 8.</p>

⁵⁰ As determined by Toowoomba Regional Council or shown on an approved Plan of Development.

Performance outcomes	Acceptable Outcomes
<p>PO₁₁ Development ensures that fencing and screening associated with a dwelling:</p> <ul style="list-style-type: none"> (a) facilitates casual surveillance of the street or adjoining park; (b) provides privacy to the users of private open space; and (c) does not negatively impact on the quality of the streetscape. 	<p>AO_{11.1} Fences located on a front property boundary or a common boundary with an adjacent park or within the front setback area have:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.5 metres and a minimum transparency of 30% when viewed from in front of the fence (at 90 degree angle to the fence). <p>AO_{11.2} Where adjacent to public open space, built form addresses these spaces with:</p> <ul style="list-style-type: none"> (a) a deck, balcony or veranda; or (b) overlooking windows to provide casual surveillance; and (c) fencing that is no greater in height than 1.2m or at least 30% transparency when viewed from in front of the fence (at 90 degree angle to the fence). <p>Note: See Figure 8.</p>

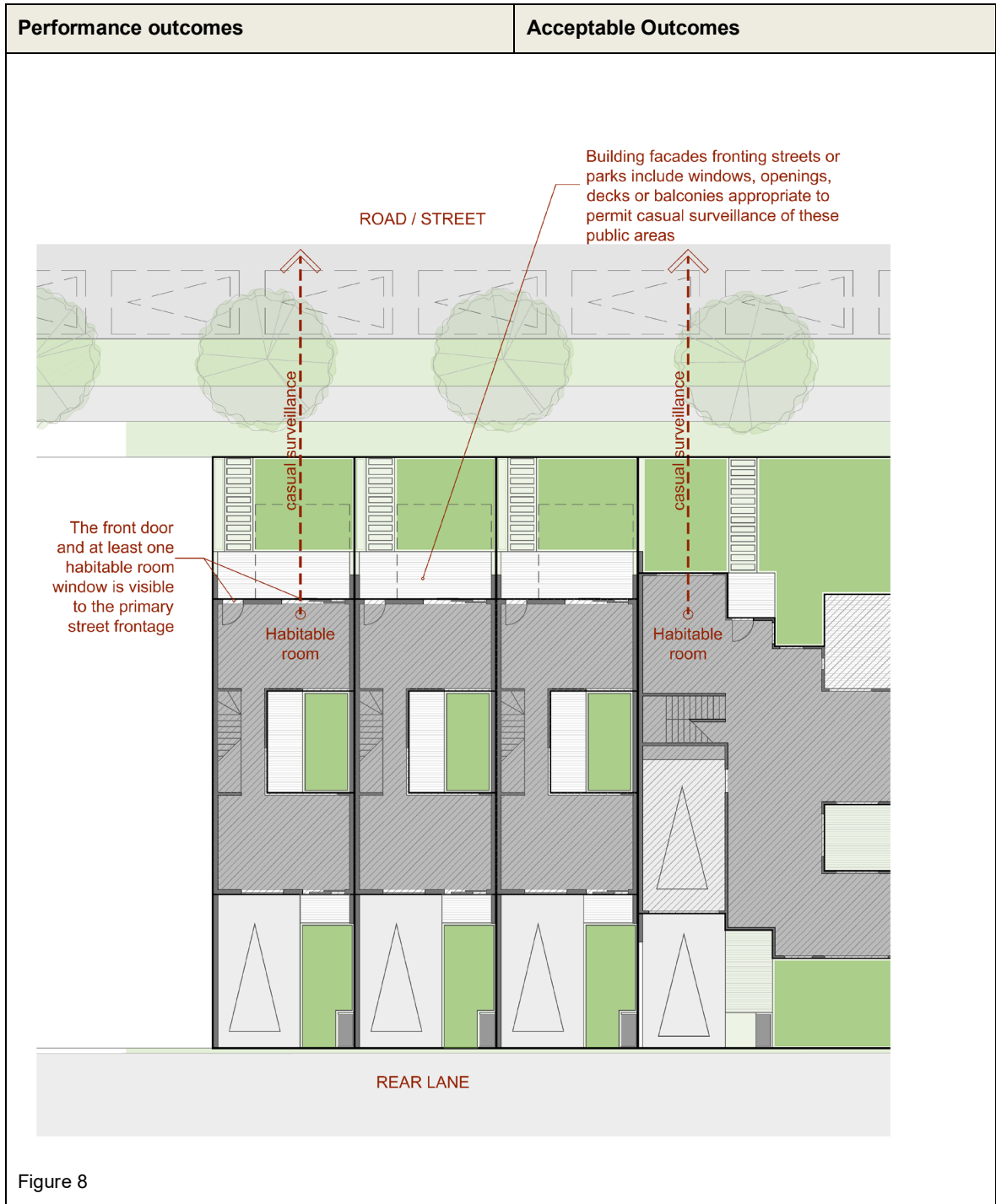


Figure 8

Performance outcomes	Acceptable Outcomes
<p>PO₁₂ The privacy of residents of the development or adjoining premises is protected when they are inside a dwelling or in a private open space area.</p>	<p>AO_{12.1} Habitable room windows and balconies do not directly face⁵¹:</p> <ul style="list-style-type: none"> (a) private open space of an adjoining premises; or (b) a habitable room window within 3m on an adjoining premises; <p>OR</p> <p>AO_{12.2} Habitable room windows and balconies directly facing private open space or habitable room windows within 3m on an adjoining premises:</p> <ul style="list-style-type: none"> (a) have fixed obscure glazing in that part of the window below 1.5m above floor level; or (b) have a sill height of 1.5m or more above floor level; or (c) have privacy screens that cover a minimum of 50% window view. <p>Note: See Figure 9.</p> <p>Note: AO 12.1 is an alternative provision for P5 within QDC Part MP1.1 Design and Siting Standard for Single Detached Houses – On lots under 450m².</p>

⁵¹ 'directly face' means an angle within 45° either horizontally or vertically.

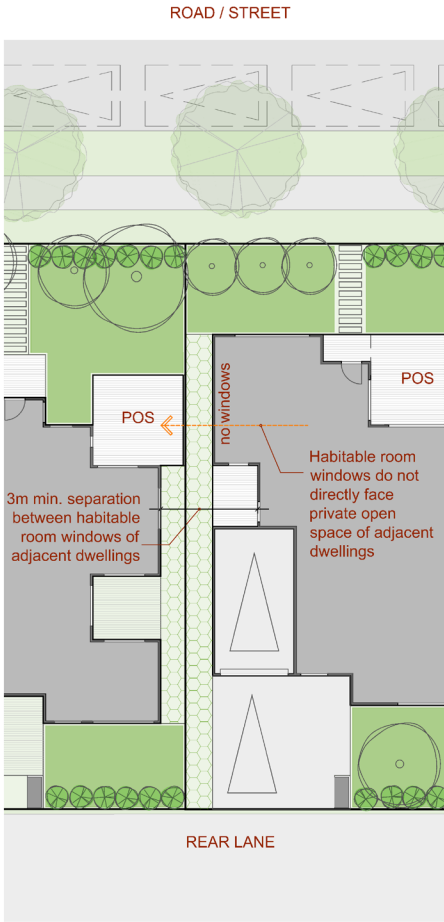
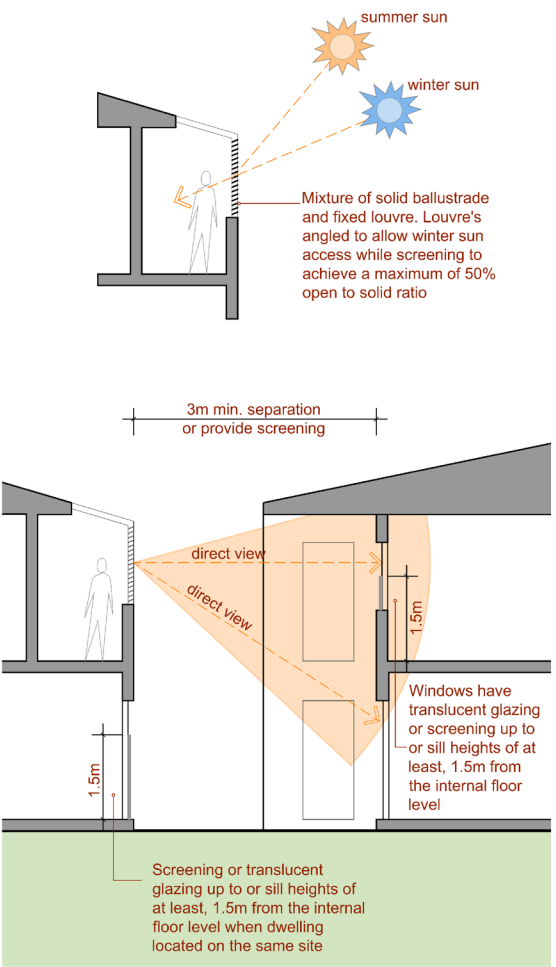
Performance outcomes	Acceptable Outcomes
	
<p>Figure 9</p> <p>PO₁₃ Stormwater discharge from the site is to a lawful point of discharge as defined in the Queensland Urban Drainage Manual (QUDM), without the use of pumped or charged pipe systems, and not to private land other than to an easement for stormwater purposes befitting the site and allowing discharge to a lawful point of discharge in land over which Council has tenure or control.</p> <p>Note: Land over which Council has tenure or control does not include Council's open space network.</p>	<p>AO_{13.1} The site:</p> <ol style="list-style-type: none"> has a natural surface with an elevation that is higher than the abutting road and enables stormwater to drain gravitationally to the abutting road via subsurface pipes; or has a natural surface with an elevation that is higher than Council's stormwater drainage network in the abutting road and enables stormwater to drain gravitationally to the stormwater drainage network in the abutting road via subsurface pipes; or has lawful access to an inter allotment drainage network with available capacity to meet the requirements of the development.

Table 9.3.10:2 Minimum Front, Side and Rear Boundary Setbacks

Boundary	Qualification	Lot Width	Minimum Setback
Side	Where the building height is greater than 8.5 metres.	Any	2 metres plus 0.5 metres for every 3 metres or part thereof exceeding 8.5 metres.
	Where the building height is 8.5 metres or less.	≤ 12.5 metres	1.2m unless external walls built to boundary (zero lot alignment with no gap to boundary)
		> 12 metres	1.2 metre
Rear	Where the building height is greater than 8.5 metres and not associated with a rear lane.	Any	0 metres (built to boundary) up to 8.5 metres in height; 3 metres for any building element exceeding 8.5 metres in height.
	Where: (a) The building height is 8.5 metres or less and (b) The site has rear laneway access.	Any	0 metres
	Where: (a) The building height is 8.5 metres or less and (b) The side does not have rear laneway access.	≤ 12.5 metres	1.2 metres
		> 12 metres	1.2 metre
Secondary frontage	N/A	≤ 12.5 metres	0.9 metres
		> 12 metres	1.5 metres

Table 9.3.10:3 Maximum length of a built to boundary wall

	Lot width <10m	Lot width ≥10.0-12.5m	Lot width >12.5-15m	Lot width ≥15.0m
Maximum length (measured as a percentage of lot length)	80 per cent	75 per cent	65 per cent	60 per cent